



GALT

JOINT UNION ELEMENTARY SCHOOL DISTRICT

DISTRICT FACILITIES MASTER PLAN

# GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT



2024
FACILITIES
MASTER PLAN

#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT

# **ACKNOWLEDGMENTS**

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Tina Homdus, River Oaks Elementary School
Jennifer Porter, Marengo Ranch Elementary School
Laura Marquez, Fairsite Elementary and Early Learning Center
David Nelson, Valley Oaks Elementary School
Stephanie Simonich, Vernon E. Greer Elementary School
Judi Hayes, Lake Canyon Elementary School

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#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT

# DISTRICT OVERVIEW

The Galt Joint Union Elementary School District includes six (6) elementary schools and one (1) middle school. They serve approximately 3,550 students in grades Preschool through 8th. The district employs approximately 550 staff members and is the largest employer in the City of Galt with a population of approximately 26,000. The District serves a very diverse population of students, in which they provide many programs to support the needs of their community. They emphasize learning experiences to support their students strengths, talents and interests including social and emotional support initiatives. They offer a wide range of programs including preschool, music, Dual Language Immersion, and after school expanded learning program.

#### **ELEMENTARY SCHOOLS**

Vernon E Greer Elementary School - 248 W A St, Galt, CA 95632 Lake Canyon Elementary School - 800 Lake Canyon Ave, Galt, CA 95632 Marengo Ranch Elementary School - 1000 Elk Hills Dr, Galt, CA 95632 River Oaks Elementary School - 905 Vintage Oak Ave, Galt, CA 95632 Valley Oaks Elementary School - 21 C St, Galt, CA 95632 Fairsite Elementary & Early Learning Center - 902 Caroline Ave, Galt, CA 95632

#### MIDDLE SCHOOLS

Robert L McCaffrey Middle School - 997 Park Terrace Dr, Galt, CA 95632





# GUIDING PRINCIPLES

VISION

MISSION

Our school create safe learning environments that provide equitable access to engaging opportunities for all children. We foster learning environments for collaboration, creativity, and critical thinking to ensure children are successful in their future.

The mission of our school district is to promote growth and achievement through innovative educational programs that integrate personal strengths, social, emotional and academic learning for all children.

#### LCAP GOALS

LOCAL CONTROL ACCOUNTABILITY PLAN

#### 2023 LCAP Goals:

- 1. Engaging the PreK-grade 8 learner through a focus on equity, access, and academic rigor with inclusive practices in a variety of environments.

  2. Providing PreK-8 whole learner
- 2. Providing PreK-8 whole learner development through social and emotional learning opportunities in a variety of safe and supportive environments.

#### STUDENT SUCCESS

To enable academic and social success, all GJUESD students will demonstrate growth in these attributes:

- Acquire and effectively apply knowledge
- Positive outlook
- Skills needed for goal setting
- Positive relationships
- Responsible decisions















# FACILITIES MASTER PLAN PURPOSE

The Galt Joint Union Elementary School District Master Plan is a comprehensive road map to the facilities strategies that will support the mission and objectives of the district. This Facilities Master Plan (FMP) outlines a strategic framework to achieve educational and programmatic objectives within the constraints of existing properties and financial projections.

The plan addresses critical areas the creation of outdoor learning spaces, new shade, addition of gender-neutral restrooms, and the replacement of aging structures (relocatable buildings) and ensuring equity across all campuses. The Master Plan identifies strategies and implementation priorities for the new construction, modernization, and site work necessary to fulfill the District's standard educational requirements for their Pre-school - 8 students. The plan provides flexibility for the future and includes repair, replacement, or upgrade of existing assets to match the expected performance of new construction. The Master Plan also recognizes the District's LCAP goals and understands, they would like expanded learning and summer services that prioritize learning acceleration for learners in Pre-school - 8, continue to develop and expand dual language immersion (DLI) programs for preschool-kindergarten and increase Career Technical Education (CTE) and art programs. Throughout the planning process, common themes emerged from the data collected from users, campus administration, and executive leadership describing high-level, joint needs and goals across the district.

#### **COMMON OBJECTIVES DISTRICT-WIDE**

- Develop outdoor learning spaces for teaching, recreation, and curricular activities
- Provide shade structures throughout all school sites
- · Modernization of aging facilities
- Need for additional parking & traffic flow reconfiguration
- Critical need to replace portables which are operating far beyond their lifespan
- Gender-neutral restrooms & inclusive spaces (special education, calming rooms, teacher/student wellness rooms)
- Upgrades to student play structures
- Provide improvements performing arts program spaces: storage, outdoor stages

This Master Plan not only acts as a strategic road map for future developments but also supports informed decision-making and a practical action plan. Along with an objective assessment of the quality and capacity of the existing facilities, the District will have a continuous basis for planning, allocating facility resources, and anticipating future educational needs. It ensures that Galt Joint Union Elementary School District will continue to offer premier educational facilities that align with both curricular and strategic objectives, thereby supporting the best possible educational outcomes for all students.



# FACILITIES MASTER PLAN PROCESS

#### FACILITIES ASSESSMENT

19six Architects met with District representatives to strategize the process and then visited each of the sites to document the entire campus to determine the priority of needs. Each building on each campus was evaluated for condition and campus-specific strengths, issues and challenges were documented and brought back to the steering committee to discuss as a team. Sites were evaluated considering parking, traffic flow for drop off and pick up, adequacy of hard court and turf play areas, site drainage, adequacy of shade, and site accessibility. The District also provided archive information and facilities roofing and HVAC replacement information as well as recommendations for the Architect's use.

# EVALUATION AND PLANNING

In addition to individual site assessments. the District and the Architect facilitated stakeholder meetings for both staff and community representatives for each school. Additionally, information was gathered by faculty, parents, and stakeholder input through a series of surveys to determine the needs of each site. Based upon the results of the Facilities Assessment and discussions with project stakeholders regarding campus goals, the Architect developed Conceptual Site Plans. In the Facilities Assessment phase, the team identified buildings which required little or no work, buildings which required minor modernization, buildings which required major modernization, and buildings recommended for demolition. These were identified on the Concept Site Plans and any new structures or other improvements incorporated into the proposed ultimate design. The District met with stakeholders from each campus to evaluate the proposed site plans and reconvened with the architects to discuss feedback, Refined Schematic Site Plans and related Preliminary Project Budgets related to the proposed scope were prepared and brought to the committee for review and discussion. 19six Architects worked with the District and staff throughout this process to ensure that the recommendations are in alignment.

## PRIORITIZATION

Initial planning was performed to identify all needs and from a broad perspective consider goals and strategies with the unconstrained mindset of "What if we could do everything needed or wanted?" Then considering the estimated budgets associated with the resulting ideas, the team began a process of determining which projects and proposals were most important in alignment with the district's priorities and objectives. The goal was to create a prioritized list, overall and by campus, and draw a line on the list where projects met or did not meet the district's priorities and objectives.

#### **BOND PLANS**

The District sent out surveys to the residents of Galt testing the waters to see if they should go out for a bond in November 2024. The district reported back that the surveys came back positive and supportive of a bond. The Board will make the final decision if they go out for a bond this year.















# LEVELS OF MODERNIZATION

The following describes scope of the varying levels of modernization to take place at campus facilities, as identified in the conceptual planning phase later in this document.

#### LIGHT MODERNIZATION OF EXISTING BUILDING

- Protect (E) Conditions
- Interior Paint
- Replace Flooring Non Wet Areas
- New Tackable Walls (2) Walls
- Replace HVAC Equipment In Kind
- Replace Building/ Site EMS/ BMS
- Replace Building/ Site Fire Alarm
- Replace Building/ Site PA/ Clock/ Bell

#### MID LEVEL MODERNIZATION OF EXISTING BUILDING

- Protect (E) Conditions
- Interior Partitions
- Interior Doors
- Interior Finishes
- Misc. Specialties (casework, program, etc)
- Plumbing
- Replace HVAC Equipment In Kind
- Add HVAC Distribution
- Replace Building/ Site EMS/ BMS
- Lighting
- Power Convenience Only
- Data 6 drops per room
- Audio/ Visual/ Technology
- Replace Building/ Site Fire Alarm
- Replace Building/ Site PA/ Clock/ Bell

#### **FULL MODERNIZATION OF EXISTING BUILDING**

- Protect (E) Conditions
- Structural/ Seismic Mandates
- New Exterior Fenestations/ Finishes
- Interior Partitions
- Interior Doors
- Interior Finishes
- Misc. Specialties (casework, program, etc)
- Fire Protection
- Plumbing
- Replace HVAC Equipment In Kind
- Add HVAC Distribution
- Replace Building/ Site EMS/ BMS
- Lighting
- Power Convenience Only
- Data 6 drops per room
- Audio/ Visual/ Technology
- Replace Building/ Site Fire Alarm
- Replace Building/ Site PA/ Clock/ Bell
- Replace Building/Site PA/Clock/Bell





# CONDITION ASSESSMENT: SUMMARY

A pivotal aspect of the FMP data collection process entails conducting thorough site observations and assessing the existing conditions. This assessment initiative commences with gaining insight into the current campus layout and the utilization of existing spaces. The assessments serve the dual purpose of determining the feasibility of modifying or repurposing buildings or spaces to accommodate present or future functions, as well as estimating the costs associated with modernization or repurposing efforts. Furthermore, these assessments may provide justification for the removal of buildings or sections thereof to facilitate new construction projects. The process included site walks and drawing review by electrical engineers, as well as the architectural team. Following a comprehensive review of existing blueprints and As-Built documents provided by the District, our team developed utilization plans to document an inventory of spaces, their functionalities, dimensions, configurations, and spatial relationships. Physical inspections were also conducted to evaluate the overall condition of facilities and sites.

The condition assessment process examined all school site facilities, evaluating the site against key areas such as:

- Accessibility: high-level observations of restrooms, casework, doors, walkways, etc.
- Building Exterior: Doors, windows, roof quality, painting, etc.
- Building Interior: Interior finish materials (paint, ceilings, for example)
- Building Security: Single-point-of-entry, access control hardware
- Electrical: Power adequacy/availability
- Mechanical: Heating, Ventilating and Air Conditioning systems
- Aesthetics

These components were organized in a matrix, that also includes the each building's age, year of the last modernization, and an overall scoring. The evaluations resulting from these assessments were instrumental in shaping campus development options and estimating costs related to site and facility enhancements.

# SITE INVENTORY

This comparison chart outlines the 2023-2024 student and staff population and the current utilization of school facilities, including quantity and area allotment by program. The intent of this matrix is to itemize the programs provided on a campus-by-campus basis to assist in identifying current and future needs as the student demographic and curriculum continues to evolve.

	FAIRSITE ES	VERNON E GREER ES	LAKE CANYON ES	MARENGO RANCH ES	RIVER OAKS ES	VALLEY OAKS ES	MCCAFFREY MS
	284 Students	528 Students	463 Students	475 Students	518 Students	514 Students	768 Students
ROOM TYPE	62 Administrators/Teachers	75 Administrators/Teachers	66 Administrators/Teachers	65 Administrators/Teachers	79 Administrators/Teachers	73 Administrators/Teachers	82 Administrators/Teachers
STAFF & STUDENT RESOURCES							
1 DUAL-LANGUAGE IMMERSION CLASS	-	-	-	-	-	٠	-
2 AVID (PROGRAM, RESOURCES)	-	-	-	-	-		1 [1,257 SF]
3 SPECIAL ED / IA'S	3 [914 SF, 1,209 SF, 1,224 SF]	6 [951 SF, 950 SF, 970 SF, 970 SF, 970 SF]	1 [965 SF]	1 [939 SF]	1 [970 SF] (IA), 6 [900 SF, 965 SF, 1000 SF, 945 SF, 150 SF]	3 [860 SF, 868 SF, 864 SF] (Sp. Ed.)	8 [988 SF, 382 SF, 957 SF, 1,008 SF, 920 SF, 406 SF, 1,003 SF, 970 SF] / 1 [979 SF]
4 (RSP) RESOURCE SPECIAL PROGRAM		-	1 [980 SF]	2 [939 SF, 964 SF]	1 [970 SF]	3 [819 SF, 415 SF, 862 SF]	-
5 OCCUPATIONAL THERAPY	-	-	-	-	-		4
6 PSYCHOLOGIST	1[800 SF]	1 [224 SF]	-	1 [115 SF]	1 [119 SF]		-
7 COUNSELOR / SOCIAL WORKER	1 [950 SF]	2 [230 SF, 630 SF]	-	2 [116 SF, 956 SF]	1 [970 SF] / 1 [970 sf]	1 [862 SF]	1 [200 SF]
8 BEHAVIOR TECHNICIANS AND BEHAVIOR ANALYSTS	-	-	-	1 [962 SF]	-		-
9 NURSE ROOM/HEALTH OFFICE	1 [800 SF]	1 [150 SF]	1 [237 SF]	1 [198 SF]	1 [255 SF]	1 [Need As-Built Dwg]	1 [207 SF]
10 SPEECH	1 [886 SF]	1 [760 SF]	1 [965 SF]	1 [960 SF]	2 [84 SF, 84 SF]	1 [833.81 SF]	1 [969 SF]
11 SPECIAL DAY CLASS (MCCAFFREY ONLY)	-	<u> </u>	-	-	-	-	1 [932 SF]
12 SCHOOL RESOURCE OFFICER	-	-	-	-	-	-	-
13 ESL /ELL (ENGLISH SECOND LANGUAGE/ENGLISH LANGUAGE LEARNERS)	*	*	-	1 [1,022 SF]	1 [960 SF]	<u>-</u>	-
14 CALMING ROOM 15 BEHAVIORIST	-		-	1 [945 SF]	-	-	-
16 EXPANDED LEARNING	1 [920 SF]	3 [984 SF, 991 SF, 981 SF]		1 [945 SF] 3 [1,022 SF, 1,022 SF, 1,022 SF]		1 [394 SF]	3 [944 SF, 944 SF. 962 SF]
17 TOSA (TEACHER ON SPECIAL ASSIGNMENT)	- [525.51]	-	1 [965 SF]	-	1 [992 SF]	1 [300 SF]	-
18 LAS (LEARNING ASSESSMENT SYSTEM)	-	-	-	-	-	1 [862 SF]	-
19 CURRICULUM	-	-	-	-	1 [960 SF]	1 [363 SF]	9
SHARED SPACES & AMENITIES							
20 GRADE 1-8 STUDENT RESTROOMS	-	6 [280 SF, 280 SF, 126 SF, 126 SF, 235 SF, 235 SF]	6 [214 SF, 214 SF, 238 SF, 323 SF, 287 SF, 263 SF]	10 [200 SF, 200 SF, 200 SF, 200 SF, 239 SF, 239 SF, 58 SF, 58 SF, 207 SF, 207 SF,	9 [239 SF, 239 SF, 158 SF, 224 SF, 159 SF, 217 SF, 64 SF, 187 SF, 187 SF]	6 [233 SF, 233 SF, 149 SF, 149 SF, 175 SF, 175 SF]	10 [279 SF, 316 SF, 225 SF, 190 SF, 303 SF, 279 SF, 152 SF, 65 SF, 170 SF, 170 SF]
21 STUDENT GENDER NEUTRAL RESTROOMS	-	-	-	1 [51 SF]	3 [97 SF, 68 SF, 72 SF]		,
22 STAFF RESTROOMS	1 [123 SF]	6 [60 SF, 60 SF, 126 SF, 126 SF, 225 SF, 225 SF]	4 [167 SF, 167 SF, 70 SF, 70 SF]	5 [75 SF, 75 SF, 75 SF, 75 SF, 120 SF]	3 [48 SF, 45 SF, 82 SF]	5 [40 SF, 40 SF, 57 SF, 120 SF, 120 SF]	10 [60 SF, 60 SF, 145 SF, 145 SF, 92 SF, 92 SF, 150 SF, 150 SF, 122 SF, 122 SF]
22 STAFF WELLNESS SPACES	-	•	-	-	1 [960 SF]	•	
23 STUDENT WELLNESS SPACE	-	<u> </u>	-	-	-	-	1 [974 SF]
24 CONFERENCE ROOMS	1 [108 SF]	1 [426 SF]	1 [262 SF]	1 [784 SF]	•	1 [246 SF]	-
24 ADMIN BUILDING	1 [1,848 SF]	1 [4,124 SF]	1 [4838 SF]	[2,708 SF]	1 [2,577 SF]	1 [1,624 SF]	1 [5,339 SF]
25 STAFF WORKROOM / PODs	3 [2,703 SF]	2 [426 SF, 331 SF]	5 [260 SF, 450 SF, 450 SF, 450 SF, 450 SF]	5 [359 SF, 359 SF, 727 SF, 214 SF, 371 SF]	1 [528 SF]	7 [861 SF, 956 SF, 120 SF, 120 SF, 341 SF, 349 SF, 956 SF]	1 [1,005 SF]
26 STAFF KITCHEN RESTROOM	-	1 [105 SF]	-	1 [784 SF]	1 [95 SF]	1 [57 SF]	1 [116 SF]
CLASSROOM SPACES	9 [974 SF, 974 SF, 1,216 SF, 1,216 SF, 1,037 SF, 984 SF,						
27 PRESCHOOL CLASSROOMS	1,020 SF, 952 SF, 937 SF]	-	-	-	-	-	+
28 PRESCHOOL STORAGE/POD	2 [123 SF, 82 SF]		_	_	_		_
29 SPED CLASSROOMS	4 [914 SF, 914 SF, 1,209 SF, 1,224 SF]	6 [951 SF, 950 SF, 970 SF, 970 SF, 970 SF]	2 [948 SF, 960 SF]	1 [939 SF]	1 [970 SF] (IA), 6 [900 SF, 965 SF, 1000 SF, 945 SF, 150 SF]	3 [860 SF, 868 SF, 864 SF] (Sp. Ed.)	8 [988 SF, 382 SF, 957 SF, 1,008 SF, 920 SF, 406 SF, 1,003 SF, 970 SF] / 1 [979 SF]
30 TK/PRESCHOOL /SPED PRESCHOOL PLAYGROUND	1 [1,820 SF]	-	-	-	-	-	-
31 KINDERGARTEN CLASSROOMS	-	3 [1,121 SF, 1,121 SF, 1,169 SF]	2 [1,601 SF, 1601 SF]	3 [1,330 SF, 1330 SF, 1,000 SF]	2 [1,358 SF, 1,358 SF]	4 [4,365 SF]	
32 KINDERGARTEN OFFICE/POD		1 [497 SF]	1 [470 SF]	1 [214 SF]	2 [228 SF, 183 SF]	-	-
33 KINDERGARTEN/PRESCHOOL/SPED PRESCHOOL RESTROOMS	12 [84 SF, 84 SF	4 [60 SF, 60 SF, 60 SF, 60 SF]	2 [49 SF, 49 SF]	2 [54 SF, 54 SF]	2 [46 SF, 46 SF]	2 [69 SF, 69 SF]	-
34 STANDARD CLASSROOMS GRADES 1 THRU 8	-	19	19	17	18	17	25 [985 SF, 981 SF, 940 SF, 1,005 SF, 969 SF, 977 SF, 1,238 SF, 967 SF, 451 SF, 466 SF, 1,257 SF, 977 SF, 978 SF, 1,007 SF, 956 SF, 987 SF, 968 SF, 1,002 SF, 920 SF, 921 SF, 1,003 SF, 984 SF, 974 SF, 1,013 SF, 978 SF]
35 GRADE 1	-	3 [933 SF, 915 SF, 956 SF]	3 [938 SF, 933 SF, 960 SF]	3 [955 SF, 955 SF, 967 SF]	3 [964 SF, 934 SF, 968 SF]	3 [760 SF, 863 SF, 766 SF]	-
36 GRADE 2	-	4 [960 SF, 960 SF, 960 SF, 960 SF]	5 [939 SF, 950 SF, 960 SF, 948 SF, 948SF]	3 [1,000 SF, 967 SF, 943 SF]	4 [987 SF, 965 SF, 971 SF, 900 SF]	3 [807 SF, 788 SF, 1,332 SF]	*
37 GRADE 3 38 GRADE 4	-	4 [960 SF, 960 SF, 960 SF, 960 SF]	3 [971 SF, 948 SF, 948 SF]	3 [973 SF. 997 SF, 967 SF]	3 [900 SF, 900 SF, 963 SF]	3 [807 SF, 853 SF, 844 SF]	*
38 GRADE 4 39 GRADE 5	-	2 [960 SF, 960 SF]	3 [948 SF, 948 SF, 948 SF]	2 [1,028 SF, 978 SF,	3 [984 SF, 991 SF, 974 SF]	2 [801 SF, 830 SF]	-
40 GRADE 6	1	4 [952 SF, 960 SF, 960 SF, 960 SF] 2 [960 SF, 960 SF]	3 [960 SF, 931 SF, 950 SF] 2 [965 SF, 954 SF]	2 [978 SF, 1,007 SF] 3 [963 SF, 962 SF, 962 SF]	2 [900 SF, 1,012 SF] 3 [900 SF, 900 SF, 900 SF]	3 [869 SF, 857 SF, 793 SF] 3 [850 SF, 865 SF, 870 SF]	-
41 GRADE 7		-		-	-	-	
42 GRADE 8	-	-	-	-	-		
43 READING ROOM	-		-	2 [967 SF, 967 SF]	-		
43 READING ROOM	-	•	*	2 [967 SF, 967 SF]	-	-	-

# SITE INVENTORY AND CDE STANDARDS

Overall the school site have adequately sized spaces for the program that offers and the focus of this FMP is to replace aging classrooms to bring them up to district standards across all campuses.

		FAIRSITE ES	VERNON E GREER ES	LAKE CANYON ES	MARENGO RANCH ES	RIVER OAKS ES	VALLEY OAKS ES	MCCAFFREY MS
	ROOM TYPE	284 Students	528 Students	463 Students	475 Students	518 Students	514 Students	768 Students
		62 Administrators/Teachers	75 Administrators/Teachers	66 Administrators/Teachers	65 Administrators/Teachers	79 Administrators/Teachers	73 Administrators/Teachers	82 Administrators/Teachers
	RRICULAR							
	T-K PLAYGROUND	-	1 [ 8,321 SF]	4	-	-	•	-
	KINDER PLAYGROUND	1 [4,096 SF]	SHARED WITH T-K	1 [1,133 SF]	1 [1,360 SF]	1 [16,872 SF]	1 [1,010 SF]	-
	SPORTS FIELD (SOCCER, BASEBALL, TRACK)	1 [15,248 SF]	-	1 [70,946 SF]	2 [156,561 SF]	1 [126,169 SF]	1 [135,829 SF]	772,757 SF
	UNDEVELOPED FIELD	1 [50,263 SF]	2 [61,662 SF]	4	-	-	•	-
	UPPER GRADE PLAYGROUND	-	-	٠	1 [52,770 SF]	2 [28,567 SF, 29, 511 SF]	1 [5,439 SF]	62,092 SF
	ELEMENTARY SCHOOL BLACKTOP	•	+	1 [ 58,277 SF]	-	•	1 [58,423 SF]	-
	FOREIGN LANGUAGE	-	-	•	-	-		1 [967 SF]
	MUSIC/BAND ROOM/CHOIR	-	1 [1,945 SF]	1 [893 SF]	1 [991 SF]	1 [1,986 SF]	1 [862 SF]	3 [938 SF, 2699.04 SF]
51	CAREER TECHNICAL EDUCATION (MCCAFFREY ONLY)	-	-	-	-	-	-	1 [1,257 SF]
52	COMPUTER LAB/MAKER SPACE		-	1 [296 SF]	1 [772 SF]	÷	1 [472 SF]	-
52	ART ROOM	-	-	1	-	-	-	1 [932 SF]
53	LIBRARY	1 [932 SF]	1 [2,950 SF]	1 [2,988 SF]	1 [2,935 SF]	1 [2,050 SF]	1 [2,028 SF]	1 [6,825 SF]
	K-DOG/MEDIA ROOM (MCCAFFREY ONLY)	-	-	-	-	-	-	1 [1,071 SF]
	MULTI-PURPOSE ROOM (MPR)	1 [2,142 SF]	1 [5,931 SF]	1 [9,060 SF]	1 [4,446 SF]	1 [4,396 SF]	1 [6,563 SF]	1 [10,552 SF]
56	GYM	-	1 [5,931 SF]	1 [9,060 SF]	1 [4,446 SF]	-	•	1 [9,510 SF]
	PE CLASSROOM	-	2 [982 SF]	1 [960 SF]	1 [1,000 SF]	-	1 [806 SF]	-
	OUTDOOR LEARNING SPACES	-	-	4	-	-	•	-
	STAGE/BACKSTAGE	-	1 [2,201 SF]	1 [960 SF]	1 [2,340 SF]	1 [1,929 SF]	1 [1,447 SF]	-
	KITCHEN / KITCHEN STORAGE / DRY STORAGE	1 [440 SF]	1 [1,550 SF]	1 [1,220 SF]	1 [1,731 SF]	1 [2,015 SF]	1 [1,011 SF]	1 [2,321 SF]
	SCHOOL READINESS CENTER	1 [1,504 SF]	-	4	-	-	•	-
UTILITIES								
	ELECTRICAL ROOM	2 [201 SF, 124 SF]	2 [70 SF, 70 SF]	1 [134 SF]	2 [195 SF, 300 SF]	4 [112 SF, 135 SF, 50 SF, 83 SF]	1 [142 SF]	6 [66 SF, 73 SF, 68 SF, 46 SF, 73 SF, 75 SF]
	MECHANICAL ROOM	2 [30 SF, 30 SF]	2 [70 SF, 70 SF]	1 [134 SF]	1 [118 SF]	1 [118 SF]	1 [142 SF]	1 [142 SF]
	CUSTODIAN ROOM	2 [108 SF, 108 SF]	3 [70 SF, 70 SF, 70 SF]	5 [45 SF, 67 SF, 28 SF, 52 SF, 52 SF]	1 [275 SF]	2 [143 SF, 82 SF]	3 [109 SF, 140 SF, 67 SF]	6 [78 SF, 78 SF, 130 SF, 76 SF, 57 SF, 65 SF]
64	DATA / SERVER ROOM	1 [INCLUDED IN ADMIN BUILDING]	-	1 [INCLUDED IN LIBRARY]	2 [INCLUDED IN LIBRARY, BUILDING C]	1 [INCLUDED IN ADMIN]	1 [INCLUDED IN LIBRARY]	1 [INCLUDED IN LIBRARY BUILDING]
64	IDF	1 [INCLUDED IN ADMIN BUILDING]	3 [1 IN RM 18, 1 IN RM 35, 1 IN LIBRARY]	5 [C1, C2, C3, C4, MPR]	5 [BLDG C, F1, H, I-1, I-4]	4 [BLDG D, RM 24, RM 32, MPR]	5 [RM 12, RM 13, RM 17, RM 3, MPR]	5 [BLDG A, BLDG B, BLDG C, BLDG L, MPR, P9, PREP ROOM]
65	MAIL ROOM	1 [INCLUDED IN ADMIN BUILDING]	-	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN ADMIN]	-	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN ADMIN BUILDING]
	CUSTODIAN OFFICE	-	-		-	-	1 [129 SF]	1 [129 SF]
67	FIRE RISER	1 [INCLUDED IN STORAGE]	1 [INCLUDED IN MPR]	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN BUILDING B]	1 [INCLUDED IN BUILDING B]	1 [INCLUDED IN MPR]	2 [INCLUDED IN LIBRARY, BLDG M]
67	FIRE PANEL	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN LIBRARY]	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN LIBRARY]	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN ADMIN BUILDING]	1 [INCLUDED IN LIBRARY]
68	STORAGE	4 [40 SF, 874 SF, 874 SF, 45 SF]	7 [200 SF, 56 SF, 69 SF, 69 SF, 45 SF, 197 SF, 70 SF]	7 [75 SF, 75 SF, 44 SF, 53 SF, 27 SF, 45 SF, 134 SF]	8 [963 SF, 114 SF, 1,022 SF, 154 SF, 149 SF, 125 SF, 102 SF, 102 SF]	9 [143 SF. 78 SF, 62 SF, 158 SF, 112 SF, 94 SF, 121 SF, 116 SF, 151 SF]	4 [216 SF, 139 SF, 109 SF, 92 SF]	4 [148 SF, 99 SF, 120 SF, 265 SF]

The following guidelines for space standards described by the California Department of Education

K-6 Educational Standards		7-8 Educational Standards	
460-560 Students (75/stream + T-K and margin)		525-560 Students	
	<u>Size</u>		<u>Size</u>
Transitional Kindergarten	1,350 SF	Classrooms	960 SF
Kindergarten	1,350 SF	Art	1,200 SF
Grades 1st-3rd	960 SF	Science	1,400 SF
Grades 4th-6th	960 SF	Music	2,000 SF
Special Ed/IA	240 SF	Drama	2,000 SF
(RSP) Resource Special Program	240 SF	Shop/Fab Lab	1,500 SF
Psychologist	240 SF	Psychologist	240 SF
Counselor / Social Worker	240 SF	Counselor / Social Worker	240 SF
Speech	240 SF	Speech	240 SF
ESL	240 SF	ESL	240 SF

# CONDITION ASSESSMENT: PHOTOS



Roofs aging and dirty





Large holes on walls exposing internals



Large cracks appearing on concrete paths



Small storage closet exterior damage



Exterior walls show signs of age and wear



Water damage on ceiling tiles



Ceilings showing signs of damage



**Exposed wall internals** 

# CONDITION ASSESSMENT: PHOTOS (CONTINUED)







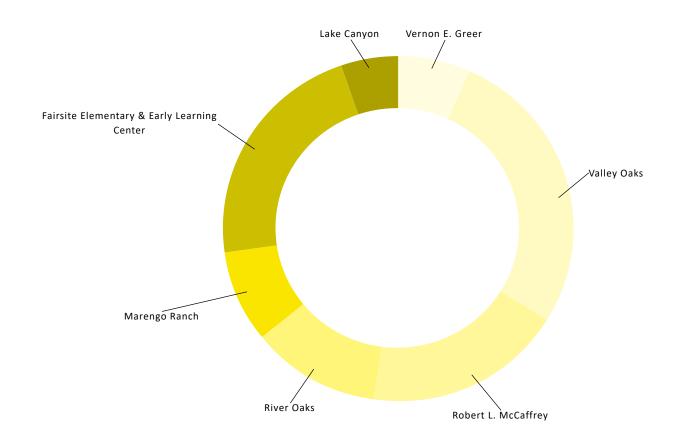
# STAKEHOLDER ENGAGEMENT SURVEYS

The communication flow chart below depicts the established channels at the outset of the planning process. The Executive Team, consisting of Lois Yount, District Superintendent, Alejandra Garibay, Chief Business Officer (CBO), and Stan Sagert, District Maintenance, and 19six Architects, held regular meetings and check-ins to ensure the timely progression of tasks and milestones of the Facilities Master Plan (FMP). Additionally, 19six presented progress updates and initial findings to the FMP Steering Committee, comprised primarily of campus principals and teachers. This committee played a crucial role in offering input and aiding in understanding each school's unique needs, priorities, and the development of conceptual plans. In addition, early feedback from the broader user groups to include parents, teachers, and members of the community, was collected through a user engagement survey conducted by 19six. Feedback received was well-balanced amongst campus staff and parents or guardians.



# STAKEHOLDER ENGAGEMENT SURVEYS (CONTINUED)

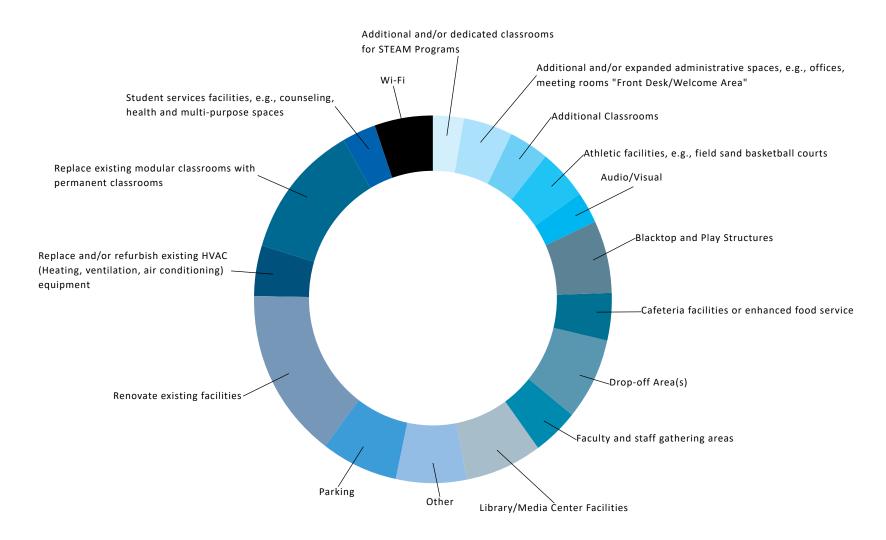
Question: Campus I primarily use.



# STAKEHOLDER ENGAGEMENT SURVEYS (CONTINUED)

**Question:** What do you think are the District's greatest

needs, at this time?







# VERNON E. GREER ELEMENTARY



## SCHOOL DATA

248 West A Street, Galt, CA 95632







Year Built: 1992

Modernizations and Campus Additions: 2016, 2017, 2021, 2023

Acreage: 14.78 Acres

Current Enrollment: 528

 K-3RD
 14

 4TH-6TH
 7

 Special Ed
 6

 ELOP
 5

 Additional
 2

 Total
 34

# SITE AERIAL



## SCHOOL SITE DESCRIPTION

#### SITE

The Vernon E. Greer Elementary School campus is located at 248 West A Street, Galt, CA. The campus is bounded at the north by West A Street, at the east by Greer Basin Park and Fumasi Drive, and by private residences at its southern and western boundaries, along Sasha Rose Drive and Sargent Avenue. The site is a relatively rectangular, 14.8-acre site that is oriented along a north-south axis parallel to Fumasi Drive. The school's campus is comprised of four permanent buildings housing Administration, Kindergarten through first grade classrooms, the campus library, or Bright Future Learning Center, and a multi-purpose room. The existing permanent buildings line the northern perimeter of the site and take prominence at the campus frontage. All remaining classroom buildings, housing second through sixth grade, are of relocatable construction and currently positioned at the western and southern areas of the site. The majority of these buildings frame a tree-lined central campus "quad", landscaped with paved walkways, and an expansive green way. At the time of the assessment, the campus has no dedicated recreation fields, but lies adjacent to the community Greer Basin Park. There are two blacktop play areas with play lines and sport courts at the southern end of the site, each abutting its own playground. There are two parking lots with ingress and egress from West A Street. The north parking lot currently houses twenty-three parking stalls, of which three appeared to be designated by the campus for ADA use. There is paved pedestrian circulation between the visitor parking lot and the school's main entrance. The second parking lot is located to the east of the administrative building and contains a passenger drop-off area, staff parking, and visitor parking.

#### BUILDINGS

Vernon E. Greer Elementary School was originally constructed in 1992 with subsequent alterations completed since its construction. The addition of the classroom Building C, which houses kindergarten through first grade classrooms, was constructed in 2009. Generally, the construction of the original school buildings consists of wood framing, metal framed dual-pane windows, exterior stucco with stucco trim, and steel columns, and concrete slab flooring. The building materials for the portable classroom buildings include plywood siding and wood trim, exterior concrete at the front of the classrooms and metal framed dual-pane windows. All the campus's buildings are detached. The roofs of the permanent buildings appeared to be in acceptable condition at the time of the assessment, following their recent replacement on select buildings. It is recommended that select HVAC roof top units undergo immediate repair for continued use. The majority of the portable classroom buildings' roofs appear to be in acceptable condition and would likely only warrant minor repairs at this time. It is recommended that portable classroom buildings 17, 18, 19 and 20 be considered for immediate replacement. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. It was observed that student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements. In general, door hardware at classroom buildings includes lock-sets lockable from either side, demonstrating intent for continued campus-wide security.

#### **PROGRAM SPACES**

Modernized and expanded instructional and support spaces are recommended throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, shade structures, add gender neutral student restroom, redevelop play areas reconfigure parking lots to gain additional staff and visitor spaces, etc. Staff and community at this campus have expressed the desire for additional/supplemental program spaces as well as the modernization of existing facilities.



Water damage has affected the ceiling tiles



Cracks appearing on concrete



Poor quality of construction/maintenance



Cracks appearing on ramp walkways

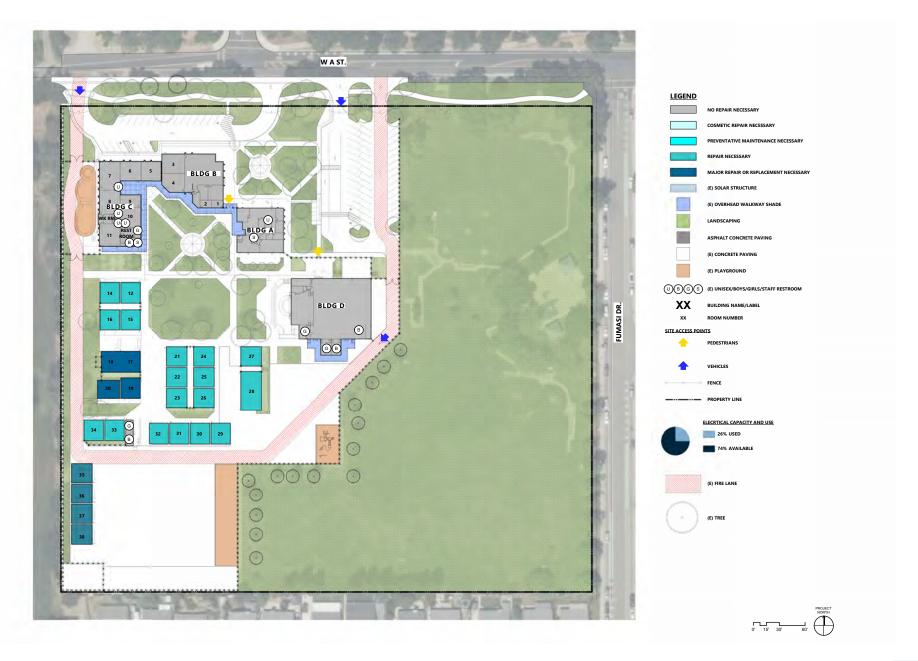


Missing or damaged ceiling tile



Large gaps/cracks appearing on asphalt

# ASSESSMENT SITE PLAN



## FACILITY ASSESSMENT DATA SCORING SHEETS

This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

				_																					1	-				
		MENTARY SCHOOL DI	<u>STRIC</u>	T																						FACI	ILITY A	SSES	SMEN	IT /
Vernon E	. Greer ELEMENTARY	SCHOOL																												
1					1										1						1	1	1	1	$\overline{}$	_	-		_	_
This worksheet est	tablishes data for determination of priority pri	bjects across a campus or district wide level. Please note the ety discrepancies are witnessed by the architect, the district	at the findings in	this spreads	heet are based	on the archited	t's field obs	ervations safety of							Rating Key	1=		no renair r	necessary						<del>-</del>	1	1	-	1	1-5
the students, staff,	and community. The architect will report an	findings of this nature to the district.	,													2=		cosmetic r	epair neces		non/				1	1	1		1	6-10
																4=		repair nec	essary											16-20
												-				5= 6=		repair nec major repa	essary for u air needed f	se past 2 y or immedia	ears te continued	use	-		+		+	-		21-25 26+
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS		FURNITURE	WALL	FLOOR	WALLS	-	CASEWK	FIXTURES		EXT PAINT	+	HVAC	AESTH.	SUM	PRIORITY
						MOD	HAZ	STRUCT.	FLS	ADA		SIIE 2	DOORS	ROOF		LIGHTING 2	2	FINISHES	PLOOR 2	WALLS	CEILING	CASEWK	FIXTURES		EXT PAINT	SIGNAGE	HVAC	AESTH.		PRIORITY
В	Bright Future Learning Center	Main Library	#52888	1992	31	4					1	2	3	3	2	2	2	2	2	3	4	6	3	2	1	4	5	4	47	3.8
B B	Room 1 Room 2	Office 1 (open) Office Conf Rm (Lisa Pino)	#52888 #52888	1992 1992	31	4					1	2	3	3	3	2	2	2	2	3	3	1	2	1	1	4	5	3	50 43	4.0 3.4
В	Room 3	PD Room (Classroom)	#52888	1992	31	4					1	2	2	3	0	2	2	2	2	3	2	3	4	1	1	4	1	3	38	3.4
В	POD	Storage/It	#52888	1992	31	4					1	2	3	3	0	1	2	3	4	4	4	3	3	4	1	4	5	3	50	4.0
В	Room 4	1st Grade	#52888	1992	31	4					1	2	3	3	0	1	2	2	3	3	3	1	2	2	1	4	1	3	37	3.0
С	Boys Restroom		02-110621	2009	14	4					1	1	2	3	0	1	1	2	3	3	2	3	2	1	1	3	3	3	35	2.8
С	Girls Restroom		02-110621	2009	14	4	<u> </u>	<u> </u>			1	1	2	3	0	1	1	2	2	3	2	0	3	1	1	3	3	3	32	2.6
С	Janitor		02-110621	2009	14	4	<b></b>	<b></b>		<b>.</b>	1	1	2	3	0	1 2	1	2	2	2	2	0	2	1 2	1	3	3	3	33	2.6
C C	Room 5	1st Grade	02-110621	2009	14	4	<b>!</b>				1	1	2	3	2	2	1	2	2	2	2	3	3	2	1	3	2	3	35	2.8 3.2
C C	Room 6 Room 7 RR	1st Grade	02-110621 02-110621	2009	14	4	<del>                                     </del>				1	1	2	3	0	1	1	1	1	1	1	0	3	1	1	2	3	2	40 25	3.2 2.0
С	Room 7	Kindergarten	02-110621	2009	14	4					1	1	3	3	3	2	1	1	3	2	3	2	3	2	1	2	3	3	39	3.1
С	Room 8/11 Corr		02-110621	2009	14	4					1	1	0	3	0	1	1	2	1	3	3	1	3	1	1	3	4	3	32	2.6
С	Room 8 RR		02-110621	2009	14	4					1	1	2	3	0	1	1	1	1	1	2	0	2	1	1	3	4	2	27	2.2
С	Room 8	Kindergarten	02-110621	2009	14	4					1	1	2	3	2	1	1	1	2	2	3	1	2	1	1	2	6	2	34	2.7
С	Room 9	MHC	02-110621	2009	14	4					1	1	2	3	2	1	1	2	3	3	3	2	2	1	1	2	1	3	34	2.7
С	Room 10 RR	SCOE	02-110621	2009	14	4	ļ				1	1	3	3	0	1	1	2	3	2	1	0	2	1	1	3	1	2	28	2.2
С	Room 10	SCOE	02-110621	2009	14	4					1	1	2	3	2	1	1	1	2	2	4	2	3	1	1	2	1	3	33	2.6
С	Room 11 RR	Kindergarten	02-110621	2009	14	4		<b>.</b>			1	1	2	3	0	1 2	1	1 2	1	2	1	0	2	1	1	3	++	2	23	1.8
C	Room 11 office Room 11	Wadaaaa	02-110621	2009	14 14	4		-			1	1	2	3	2	2	1	1	2	2	3	2	3	1	1	2	1	2	35 32	2.8
C	Staff Restroom	Kindergarten	02-110621	2009	14	4					1	1	2	3	0	1	1	2	3	2	1	0	3	1	1	3	1	2	28	2.0
c	Staff Restroom 2		02-110621	2009	14	4					1	1	2	3	0	1	1	2	3	2	2	0	4	1	1	3	1	3	31	2.5
С	Storage		02-110621	2009	14	4					1	1	2	3	0	1	1	3	4	3	3	0	2	1	1	3	1	3	33	2.6
	Room 12		02-110621	2009	14						1	1	2	3	0	1	1	1	2	2	3	0	2	1	1	2	5		28	0.0
																											_			
D	Multi-Purpose	MPR (2) 6 TONS / 2016, 2017 (2) 5 TON / 2021	#52888	1992	31	4	1				2	2	4	2	0	1	2	3	4	4	4	0	2	4	1	2	4	4	45	3.6
D	Kitchen		#52888	1992	31	4	-				2	2	3	2	0	2	2	2	2	2	2	0	2	2	1	2	4	3	41	3.3
D D	Kitchen Office Kitchen Janitor		#52888 #52888	1992 1992	31 31	4	1				2	2	2	2	0	2	2	3	4	3	2	0	3	2	1	2	4	3	34 39	2.7 3.1
D	RR Corridor		#52888	1992	31	4					2	2	3	2	0	1	2	3	4	4	2	0	4	2	1	2	4	4	42	3.4
D	AG RR		#52888	1992	31	4					2	2	3	2	0	1	2	3	4	3	2	0	4	2	1	2	4	3	42	3.4
D	Janitor		#52888	1992	31	4	L				2	2	3	2	0	1	2	3	4	3	2	0	3	2	1	2	4	3	39	3.1
D	Women Restroom		#52888	1992	31	4					2	2	4	2	0	2	2	2	3	4	2	0	4	2	1	2	4	3	41	3.3
D	Boys Restroom		#52888	1992	31	4					2	2	3	2	0	2	2	3	4	3	2	0	4	2	1	2	4	3	41	3.3
D	Girls Restroom		#52888	1992	31	4	1	ļ			2	2	3	2	0	2	2	3	4	3	3	0	4	2	1	2	4	3	42	3.4
D	Staff Locker Rm		#52888	1992	31	4	<b></b>	<b></b>		<b>.</b>	2	2	6	2	0	1	2	3	4	3	3	0	4	2	1	2	4	3	44	3.5
D D	Closet Vest	25.0	#52888	1992	31	4	<b>-</b>				2	2	3	2	0	1	2	5	6	4	2	0	3	0	1	2	4	4	40	3.2
D D	Storage Closet	PE Storage  2nd PE Storage	#52888 #52889	1992 1992	31 31	4	<del>                                     </del>				2	2	2	2	0	1	2	2	2	2	0	0	2	3	1	2	4	2	43	3.4 2.5
D	Storage Closet PE Room Vest	Zna PC Storage	#52889 #52888	1992	31	4					2	2	3	2	0	1	2	3	4	3	4	0	3	2	1	2	4	3	41	3.3
D	P.E Office		#52888	1992	31	4					2	2	2	2	0	1	2	2	1	2	1	0	1	2	1	2	4	2	29	2.3
D	Girls Locker		#52888	1992	31	4					2	2	2	2	0	1	2	2	1	2	1	0	1	4	1	2	4	2	31	2.5
D	Boys Locker		#52888	1992	31	4					2	2	2	2	0	1	2	2	1	2	1	0	1	4	1	2	4	2	31	2.5
D	Storage Closet	Laundry Room	#52889	1992	31	4	<u> </u>				2	2	2	2	0	1	2	2	1	2	0			0	1	2	4	2	25	2.0
D	Multi-Purpose Bathrooms	ADA/Shower/Staff Only	#52888	1992	31	4					2	2	2	2	0	1	2	2	1	2	1	0	1	4	1	2	4	2	31	2.5
D D	Multipurpose Storage	Metal post cavities @ floor	#52888	1992	31	4	<b></b>	<b></b>		<b>.</b>	2	2	2	2	0	1	2	4	6	2	2	0	1	4	1	2	4	2	39	3.1
	Stage		#52888	1992	31	4	-			<b> </b>	2	2	2	2	0	1	2	2	1	2	1	0				2	4	2	32 27	2.6
D	Mechanical/Electrical	Tables	#52888	1992																			1	0	1					

# FACILITY ASSESSMENT DATA SCORING SHEETS

	1	1	-																		,							,
D	Stage Wheelchair Lift		#52888	1992	31	4				2	2	2	2	0		2		2	1		1	3	1	2	4	2	28	2.2
D	Stage Storage		#52888	1992	31	4				2	2	2	2	0	1	2	2		1	6 0	1	4	1	2	4	2	37	3.0
D	Fire Sprinkler Riser Room		#52888	1992	31	4						1						1	3	3 0	0	1					9	0.7
E	Room 27	6th Grade	#55738	1992	31	32				2	1	2	3	2	1			3	3	3 4	3	2	2	2	3	2	41	26.2
P	Room 28	Music	#61833	1994	29	29				2	1	2	4	2	1	1	2	3	3	3 1	2	2	2	2	3	2	38	22.0
G	Room 21	2nd Grade	#55738	1992	31	32				1	1	2	2	2	1	1		2	3	3 3	2	2	1	2	3	2	34	21.8
F	Room 24	3rd Grade	#55738	1992	31	32				1	1	2	2	2	1	1		2	3	4 3	3	2	- 1	2	3	3	37	23.7
S	Room 22	5th Grade	#65169	1996	27	27				1	1	2	2	2	1	1		4	3	3 3	3	2	1	2	6	3	43	23.2
Q	Room 25	3rd Grade	#63481	1995	28	28				1	1	2	2	2	1		_	3	3	3 2	2	2	- 1	2	1	3	34	19.0
Т	Room 23	Sensory Room	#65169	1996	27	27				1	1	2	2	2	- 1			3	6	3 3	2	2	- 1	2	1	3	38	20.5
R	Room 26	3rd Grade	#63481	1995	28	28				1	1	2	2	2	1	1	2	3	4	3 2	2	2	- 1	2	6	3	40	22.4
J	Room 17	2nd Grade	#55738	1992	31	32				1	1	2	2	3	- 1		2	3	2	4 3	2	3	1	2	6	3	42	26.9
J	Room 18	2nd Grade	#55738	1992	31	32				1	2	2	2	3	1		2	3	3	4 3	3	3	1	2	3	3	42	26.9
L	Room 20	GEL	#55738	1992	31	32				3	2	2	2	3	2	1	1	2	4	4 4	3	2	3	2	0	3	43	27.5
К	Room 19	GEL	#55738	1992	31	32				3	2	3	3	3	2	1	2	3	4	6 3	2	2	2	2	0	3	46	29.4
													L									-						
N	Room 14	SDC	#58960	1992	31	31				3	3	2	2	3	1	1		2	3	3 3	3	2	2	2	1	3	40	24.8
Н	Room 12	GEL	#55738	1992	31	32				2	3	2	2	1	1	1	1	2	3	4 3	3	2	2	2		3	37	23.7
0	Room 16	RSP	#58960	1992	31	31				3	3	3	2	2	2	1		2	3	3 3	3	2	2	2	1	3	41	25.4
	Room 15	2nd Grade	#55738	1992	31	32				2	3	2	2	2	2	1	1	2	3	3 3	2	2	2	2	3	3	40	25.6
Z	Room 34	4th Grade	#67997	1997	26	26				2	2	3	2	2	2	1	3	4	3	2 4	2	2	2	2	6	3	47	24.4
Y	Room 33	6th Grade	#67997	1997	26	26				2	2	2	2	2	1	1	3	4	3	2 3	2	2	2	2	6	4	45	23.4
Y.1	Girls Restroom	G RR								2	2	2	2	0	3	1	2	3	4	3 0	6	3	2	2	6	4	47	0.0
Y.1	Boys Restroom	B RR								2	2	2	2	0	2	1	2	3	3	3 0	4	3	2	2	6	3	42	0.0
U	Room 29	3rd Grade	#67997	1997	26	26				- 1	2	2	2	2	1	1	3	4	3	3 3	3	3	2	2	6	3	46	23.9
V	Room 30	5th Grade	#67997	1997	26	26				1	2	2	2	2	1	1	2	3	4	3 3	3	3	2	2	6	3	45	23.4
w	Room 31	5th Grade	#67997	1997	26	26				1	2	2	2	2	2	1	2	3	3	3 3	3	2	2	2	6	3	44	22.9
×	Room 32	4th Grade	#67997	1997	26	26				1	2	2	2	2	2	1	2	3	3	3 4	3	2	2	2	1	3	40	20.8
	Plumb Chase	Stor																										
AA	Room 35	PE	02-101195	2000	23	23				- 1	1	2	2	2	1	1	3	4	4	3 2	3	2	2	2	6	3	44	20.2
ВВ	Room 36	II Inter.	02-101195	2000	23	23				1	1	3	2	2	2	1	2	3	4	4 2	3	2	2	2	6	3	45	20.7
CC	Room 37	II Inter.	02-101195	2000	23	23				1	1	2	2	2	2	1	2	3	2	3 3	2	2	2	2	3	3	38	17.5
DD	Room 38	II Inter.	#52888	1992	31	34				1	3	2	2	0	1	1	1	2	3	3 0	0	2	2	2	6	3	34	23.1
A	Room 39	Speech	#52888	1992	31	4				1	1	2	2	0	1	1	1	2	2	3 2	2	2	2	2	3	3	32	2.6
A	Women Restroom	RR 1	#52888	1992	31	4				- 1	1	2	2	0	1	1	2	3	3	1 0	3	3	3	2	3	3	34	2.7
A	Men Restroom	RR 2	#52888	1992	31	4				- 1	1	2	2	0	1	1	2	3	3	1 0	3	3	3	2	3	3	34	2.7
A	Public Waiting	Reception	#52888	1992	31	4		1		1	1	3	2	2	1			3	3	3 3	3	2	2	2	3	3	40	3.2
A	Secretary/Receptionist	Office	#52888	1992	31	4				1	1	2	2	2	1	1	1	2	3	3 0	3	2	2	2	1	3	32	2.6
A	Staff Lounge	Staff Breakroom	#52888	1992	31	4				1	1	2	2	2	1	1	2	3	3	3 3	2	2	2	2	1	3	36	2.9
A	Workroom	Work rm	#52888	1992	31	4				1	1	2	2	2	1	1	3	4	3	2 3	2	2	2	2	1	3	37	3.0
A	Vice Principal	Asst Princ	#52888	1992	31	4				1	1	2	2	2	1	1	1	2	2	3 0	3	3	2	2	1	3	32	2.6
		REPAIRS																										
Misc. / Site	BFLC	10 TON / 2021																							1		1	
Misc. / Site	BFLC	4 TON /2021																							1		1	
Misc. / Site	Parking Lots	Asphalt Slurry/2017		2017					-	1	1	-	-	-	-		-	-	-		-	-	1	-	-	-	4	
Misc. / Site	Primary Playground	Asphalt Slurry/2023		2023					-	1	1	-	-	-	-		-	-	-		-	-	1	-	-	-	3	
Misc. / Site	Intermediate Playground	Asphalt Slurry/2023		2023					-	1	1	-	-	-	-		-	-	-		-	-	1	-	-	-	3	
Misc. / Site	Kinder Playground	Asphalt Slurry/2016		2016					-	1	1	-	-	-	-		-	-	-		-	-	1	-	-	-	3	
Misc. / Site	Exterior Painting	2021 - VALDEZ PAINTING INC		2021					-	1	1	-	-	-	-		-	-	-		-	-	1	-	-	-	3	
Misc. / Site	Roofing	2021		2021					-	2	2	-	-	-	-		-	-	-		-	-	2	-	-	-	6	į –
Misc. / Site	Fire & Intrusion System	2021	02-119290	2021	2				-	-	-	-	-	-	-		-	-	-		-	1	-	-	-	-	1	
Misc. / Site	Refrigerator and Freezer	Refrigerator/Freezer/1992		1992				1	-	1	1	1	1	-	-		-	1	1		-	-	-	-	-	-	6	
Misc. / Site	Landscaping Front of the School								- 1	-	1	-	-	-	-		-	-	-		-	-	-	-	-	-	2	į –
Misc. / Site	Cement Repairs	ongoing	1					1														1					0	
		going					i	1													İ	1						
Notes:	Planning removal of Room 19 & 20, 20	124.	-1	1	1	1		1										_	_			1						
TTOICU.	Need performing arts space (stage, lig Need dedicated music room							1														1						
	Need space in Admin Bldg. for private	meetings with families & other parties						1														1						
	Need calming room							1											-		t	1						
	l					1	1		1									1		1								

## **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

Classrooms serving like grades are generally grouped within close proximity of one another. This school has a dedicated music space and outdoor amphitheater. The Bright Future Learning Center is located at the front of campus with easy access for after school use.

# EXISTING UTILIZATION SITE PLAN

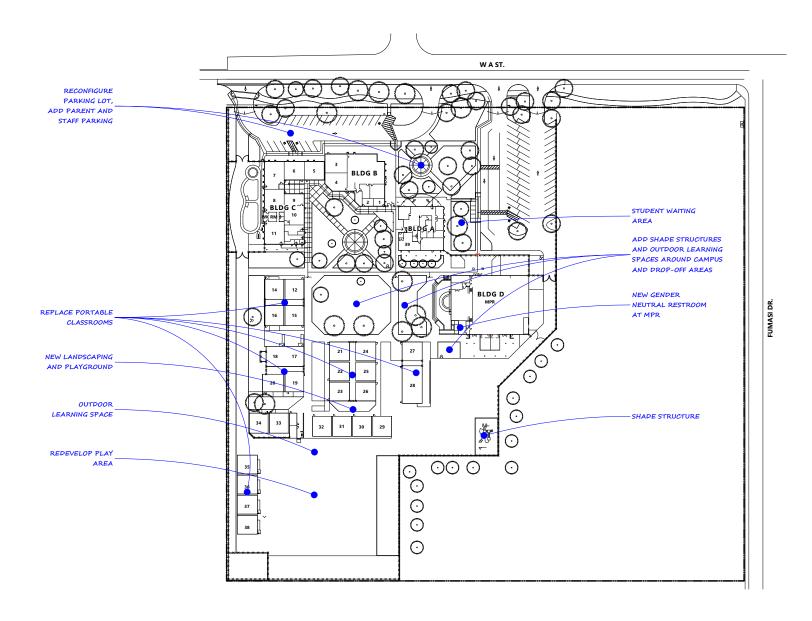








# STAKEHOLDER INPUT







## MAINTENANCE PROJECTS

#### **BUILDING B**

- Paint and patch doors as general maintenance, update hardware in next 7 years
- General roof maintenance needed, replace in next 5-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- Maintenance/minor repair of acoustic tile in next 15-20 years
- Damaged casework, replacement recommended within next 3 years
- Update outdated fixtures where necessary

#### **BUILDING C**

- General roof maintenance needed, replace in next 5-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- Update outdated fixtures where necessary
- HVAC system replacement recommended in next 1-5 years

#### **BUILDING D**

- Paint and patch doors as general maintenance, update hardware in next 5 years
- General surface repair of wall finishes in next 5 years
- General surface repair of floors in next 5-7 years
- Repair and maintenance of walls recommended within next 5-7 years
- HVAC system replacement recommended in next 1-5 years

#### **ROOMS 21-26**

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- Maintenance/minor repair of acoustic tile in next 15-20 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC system replacement recommended in next 1-5 years

#### **ROOMS 17-19**

- Aging windows, repair or replace in next 7-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- Maintenance/repair of acoustic tile in next 6-10 years
- Outdated casework, replacement recommended within next 7 years

HVAC System replacement recommended in next 1-5 years

#### **ROOMS 12 and 14**

- Repair and maintenance of walls recommended within next 7-10 years
- Maintenance/minor repair of acoustic tile in next 15-20 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary

#### **ROOMS 33-34**

- General surface repair of floors in next 5-7 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

#### **ROOMS 29-32**

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- Updated outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

#### **ROOMS 35-38**

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 7-10 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended within next year

#### **BUILDING A**

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary



















## GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | VERNON E. GREER ELEMENTARY SCHOOL

## ONE WAY TO ADDRESS THE NEEDS

During the planning exercise, 19six has provided two options for the future development of Vernon E. Greer ES, portrayed in subsequent conceptual plans. From an operational perspective, the campus facilities are sized appropriately for their current programmatic needs, however, the relocatable learning spaces are outdated and in need of replacement. Another need identified is one for an expanded and reconfigured parking lot and pick-up/drop-off area. Staff and visitors are currently limited by their current parking lot footprints and an underutilized campus entry plaza provides room for expansion of the western lot.

While the campus has numerous mature trees, there was an expressed need for shade structures and seating areas site wide. Our proposed plan includes shade structures at existing playgrounds, pick-up/drop-off areas, the outdoor stage, and in proposed Outdoor Learning Spaces that would include seating and workspaces for outdoor teaching. Among these improvements, the campus users identified a desire for a re-developed outdoor play area and leisure space, with greenways and updated play equipment and seating. Both proposed master plans provide this at a different area of site.

The key difference between two proposed master plan options for Vernon E. Greer Elementary School are the locations of the portable buildings to be replaced. Option 1 includes the replacement of each portable classroom building to be in-kind and in-place. This would allow for the incremental replacement of portables in pairs without the requirement of extensive sitework. Option 2 proposes the redistribution of these portables at new locations at the south of campus. This would open the campus center for greenways, play areas, and learning spaces. This concept establishes a secure perimeter of classroom buildings and a sense of visibility inward, toward the campus center, to be populated by student activity.

#### OPTION ONE:

- 1. Reconfigure parking lot, adding parent parking and relocating and expanding existing staff parking
- 2. Provide shade structures at lunch and play areas
- 3. Redevelop play area at the southern end of campus, adding landscaped hang-out spaces and providing room for an outdoor learning space
- 4. Outdoor learning spaces (2)
- 5. New lunch shelters (2)
- 6. Add new single-user gender-neutral restroom at MPR
- 7. Replace portable classrooms in place, providing for convenient, sequential replacement without significant site intervention
- 8. Provide a shaded seating area at the campus's existing outdoor stage

#### **OPTION TWO:**

- 1. Reconfigure parking lot, adding parent parking and relocating and expanding existing staff parking
- 2. Provide shade structures at lunch and play areas
- 3. Outdoor learning spaces (3)
- 4. Add new single-user gender-neutral restroom at MPR
- 5. Provide shaded seating area at outdoor stage
- 6. Replace and relocate portable classrooms to frame campus at campus south
- 7. Provide new playground & landscaped areas at campus center
- 8. Portable replacement/relocation & associated sitework

## PROPOSED PROJECT LIST - OPTION 1

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

#### **PARKING LOT RECONFIGURATION**

• Improvements and expansion of existing parking lot and drop-off areas to accommodate growing need for staff and visitor parking while improving efficiency of car and bus circulation. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$1,564,200

## **CAMPUS SHADE STRUCTURES**

• Provide new metal shade structures at existing playrounds, outdoor lunch seating area, and student drop-off/pick-up areas, and outdoor stage.

OPINION OF PROBABLE COST: \$869,900

### PLAY AREA UPGRADES

 Provide in-kind replacement of existing play equipment at the upper grade play structure and develop new dedicated landscaped recreation area at south of site. Includes allowance for equipment and associated site work.

OPINION OF PROBABLE COST: \$1,795,800

## **OUTDOOR LEARNING SPACES**

• This project would bring to campus two (2) dedicated outdoor learning spaces, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$1,012,900

## PORTABLE CLASSROOM REPLACEMENT

• Sequenced in-kind replacement of the campus's aging relocatable classrooms: rooms 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37 & 38.

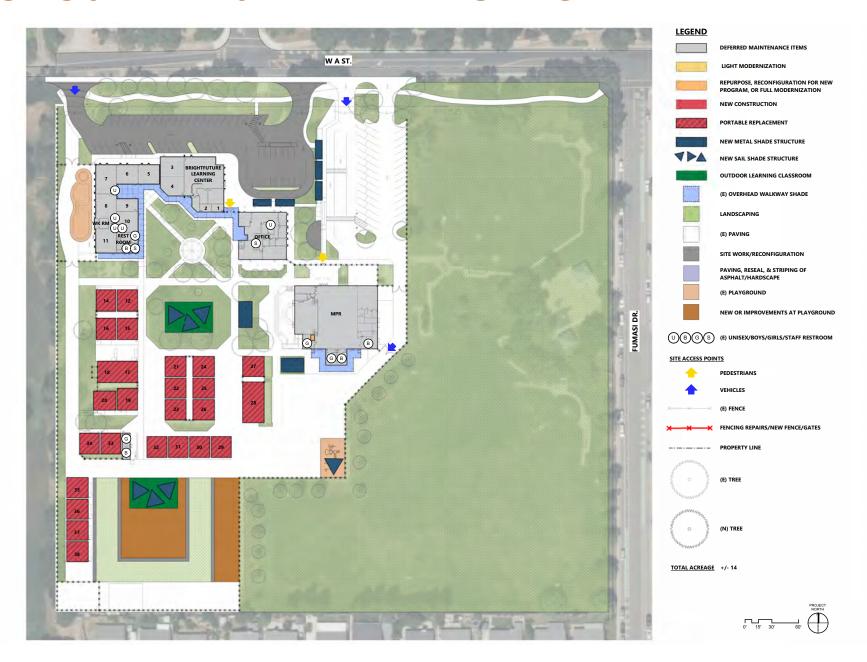
OPINION OF PROBABLE COST: \$23,794,000

## **GENDER-NEUTRAL RESTROOM**

• Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M).

OPINION OF PROBABLE COST: \$85,900

## PROPOSED MASTER PLAN - OPTION 1



## PROPOSED PROJECT LIST - OPTION 2

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

### PARKING LOT RECONFIGURATION

Improvements and expansion of existing parking lot and drop-off areas to accommodate growing need
for staff and visitor parking while improving efficiency of car and bus circulation. Work would include
improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$1,564,200

### **CAMPUS SHADE STRUCTURES**

• Provide new metal shade structures at existing playrounds, outdoor lunch seating area, and student drop-off/pick-up areas, and outdoor stage.

OPINION OF PROBABLE COST: \$869,900

#### PLAY AREA UPGRADES

 Provide in-kind replacement of existing play equipment at the upper grade play structure and develop new dedicated landscaped recreation area at the site's center, contingent upon the relocation of existing portable classrooms. Includes allowance for equipment and associated site work.

OPINION OF PROBABLE COST: \$3,850,500

## **OUTDOOR LEARNING SPACES**

• This project would bring to campus three (3) dedicated outdoor learning spaces, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$3,120,300

## **CLASSROOM REPLACEMENT / RELOCATION**

• Sequenced in-kind replacement of the campus's aging relocatable classrooms at new area aligning to the southern perimeters of site to create a centralized campus courtyard and recreation area. Rooms impacted: 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37 & 38. Project scope includes associated sitework and utilities.

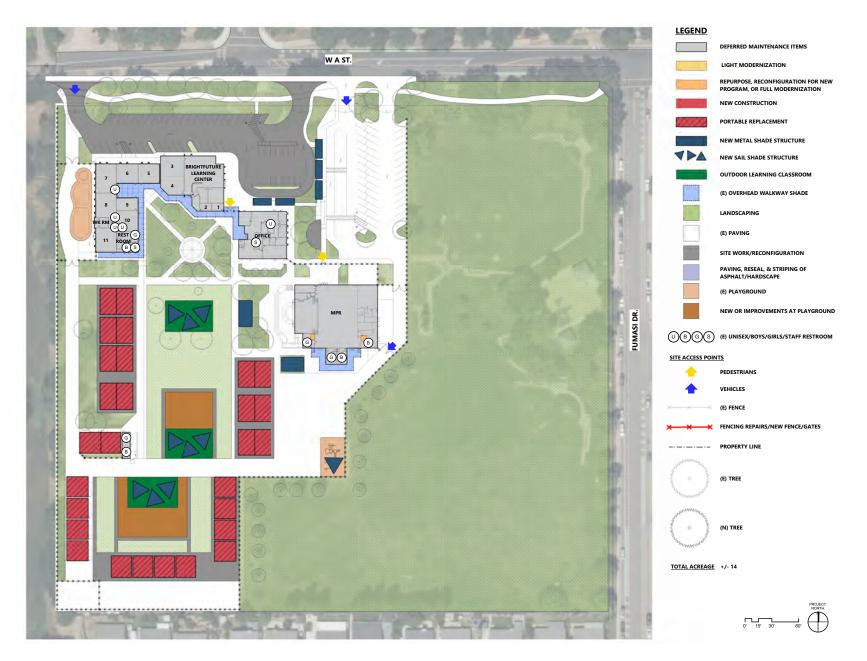
OPINION OF PROBABLE COST: \$29,726,800

## **GENDER-NEUTRAL RESTROOM**

• Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M).

OPINION OF PROBABLE COST: \$85,900

# PROPOSED MASTER PLAN - OPTION 2



















## CONCLUSION

In conclusion, the assessment of Vernon E. Greer Elementary School highlights the need for several key improvements to improve its functionality and aesthetics. Both proposed master plans address the need for reconfiguring the parking lot, improving usability of outdoor spaces, and replacement of the aging portable classroom facilities. The key difference between the plans being the proposed locations of new classroom buildings. Option 1 is better positioned for incremental replacement of each classroom block while Option 2 provides the opportunity to increase efficiency, flow, and usability from a site planning perspective. Selection between the two options will depend on the school's priorities, budget constraints, and long-term vision for the campus. With either option, the enhancement of the campus's classroom spaces, outdoor recreation and learning spaces, and operational efficiency for staff and students are prioritized.





# LAKE CANYON ELEMENTARY



## GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | LAKE CANYON ELEMENTARY SCHOOL

## SCHOOL DATA

800 Lake Canyon Avenue, Galt, CA 95632







Year Built: 2005

Modernizations and Campus Additions: 2023

Acreage: 10.5 Acres

Current Enrollment: 463

 K-3RD
 11

 4TH-6TH
 8

 Special Ed
 3

 ELOP
 4

 Additional
 1

 Total
 27

# SITE AERIAL



## SCHOOL SITE DESCRIPTION

#### SITE

The Lake Canyon Elementary School campus is located at 800 Lake Canyon Avenue, Galt, CA. The campus is bounded to the north by Lake Canyon Avenue, to the east by Beaver Park Way, to the south by the Galt maintenance and operations yard, and to the west by single-family residences. The site is just under 10.5 acres and sits within close proximity to Carillion Boulevard, a prominent thoroughfare and spine for the city's residential neighborhoods, schools, and community amenities. The campus is comprised of nine permanent buildings, which are located at the center of site. Portable classroom buildings constructed in 2023 line the southern campus boundary. The nine permanent buildings are arrayed around a central landscaped "quad", with paved pedestrian access throughout. These buildings house the school's library, administrative and support spaces, multi-purpose space, and kindergarten through sixth grade classrooms. At the time of assessment, the campus's portable classroom buildings housed the site's Expanded Learning Opportunities Program (ELOP), a behaviorist/sensory room and a dedicated office for the campus social worker. At the western area of campus sits a blacktop expanse for sport courts and play areas, a dedicated recreation field, and an upper grade playground. The kindergarten playground is located in the attached enclosed outdoor space abutting the kindergarten building, Building K. The campus has a continuous parking lot and vehicular circulation wrapping the northern and eastern perimeters of site, with ingress and egress along both Lake Canyon Avenue and Beaver Park Way. At the time of assessment, the parking lot and drop-off area was sufficient in serving current and estimated future campus needs.

#### BUILDINGS

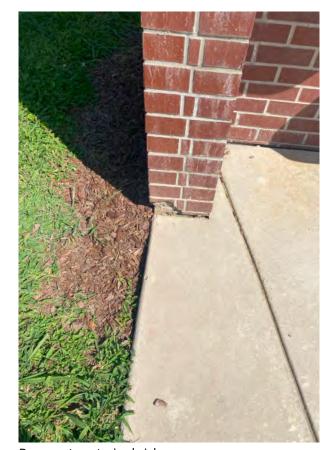
Lake Canyon Elementary School was originally constructed in 2005 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of metal stud framing, metal framed dual-pane windows, exterior stucco, ceramic tile with wood trim, brick-clad columns, and concrete slab flooring. All campus buildings are free-standing, with no attached covered walkways or structures. The roofs on the buildings are standing seam metal roofs and appeared to be in generally good condition at the time of the assessment. Based on findings during the facilities evaluation, it is recommended that select HVAC roof top units be considered for immediate replacement for continued use. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. In general, door hardware at classroom buildings includes lock-sets lockable from either side, demonstrating intent for continued campus-wide security.

#### **PROGRAM SPACES**

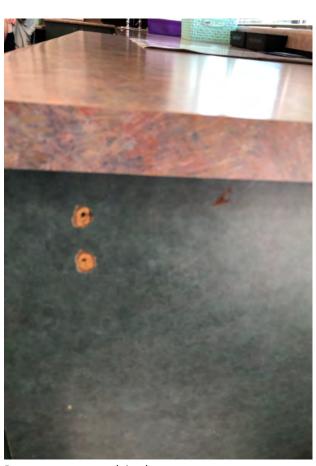
Finishes throughout Lake Canyon's classrooms appeared to be new and in good condition with minimal cosmetic damage. Typical surface materials included broadloom carpet, vinyl tile flooring, lay-in acoustic ceiling tiles, hollow metal doors, plastic-laminate veneer at plywood or MDF casework, rubber floor base, tackable wall covering and interior paint. These materials were consistent with the construction of all other permanent buildings campus wide. While the existing program spaces are adequate in supporting the current needs of the campus, modernization should be considered as technological and educational standards continue to evolve.



Water damage to ceiling tiles



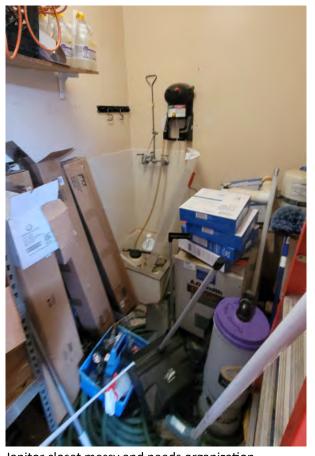
Damage to exterior brick



Damage to casework in classrooms



Cracks appearing on parking lot asphalt

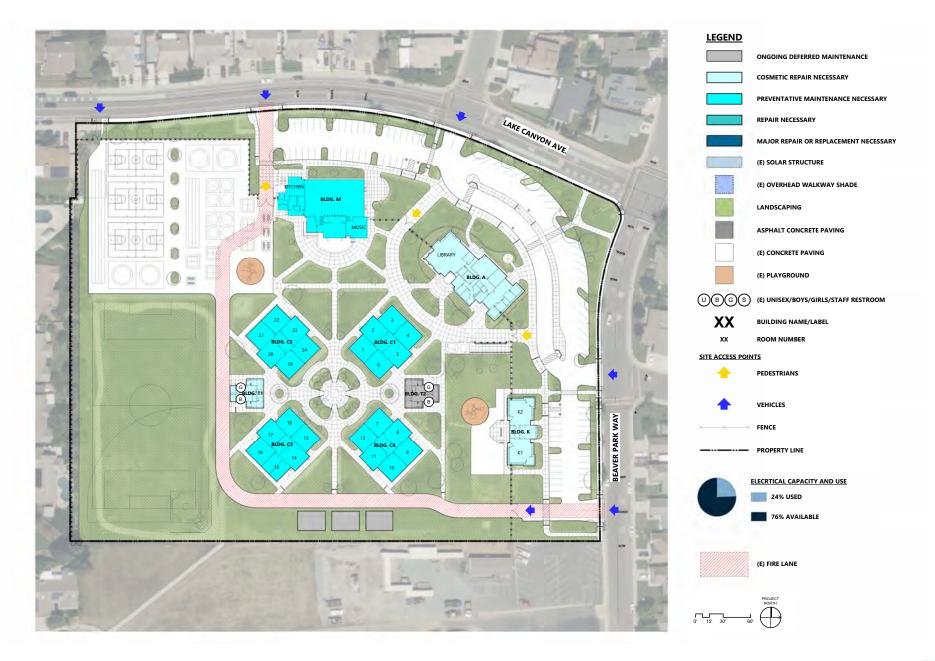


Janitor closet messy and needs organization



Rust and age affecting restroom equipment

# ASSESSMENT SITE PLAN



## FACILITY ASSESSMENT DATA SCORING SHEETS

This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

		N ELEMENTARY SCHOOL I	DISTRICT																						FACIL	_ITY Æ	ASSESS	MEN:	Т
LAKE CA	NYON ELEMEN	TARY SCHOOL																											
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This worksheet es event any hazardo	stablishes data for determinatio ous, structural, or fire and life s	n of priority projects across a campus or district wide level. Please nafety discrepancies are witnessed by the architect, the district may be	ote that the findings in this spread e required to conduct additional te	sheet are based sting or research	on the archite to ensure the	ct's field obser safety of the s	rvations only students, sta	f, In the						Rating Key	1=		no repair n	ecessary									+-+		1-5
community. The a	architect will report any findings	of this nature to the district.													2=		cosmetic re	epair necess re maintenar	ary	n/							$\blacksquare$		6-10
															4=		repair nece	essary											11-15 16-20
															5= 6=		repair nece major repai	essary for us ir needed fo	e past 2 year r immediate	ers continued (	use						$\pm$		21-25 26+
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCI	E HAZ	STRUCT. FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	LINID CHIO	LIGHTING FL	DANTURE	WALL	EL GOD	WALLS	CEILING	0105111	FIXTURES	10010	EXT PAINT	OLONIAGE	HVAC	AESTH.	SUM	PRIORITY
K	Poom K1		02-104241	2002		MOD	HAZ	STRUCT. FES	ALIA	EXT BLUG	SILE	DUURS 4	ROOF	WINDOWS	1	KNITUKE	FINISHES	PLOOR 2	WALLS	CEILING 4	CASEWK	1	ACOUS 2	EXT PAINT	SIGNAGE	HVAC			FACTOR
K	Room K1	K1 K2	02-104241	2002	21	21			-	1	1	1	2	1	1	1	2	2	2	1	3	1	2	1	1	6	2	33	13.9
K	Boys RR	RR 1	02-104241	2002	21	21				1	1	1	2		1	1	1	2	1	1	-	3	1	1	1	6	1	32 25	13.4 10.5
K	Office	Office	02-104241	2002	21	21				1	1	1	2	1	1	1	1	3	1	1	2	1	2	1	1		1	28	11.8
К	Girls RR	RR 2	02-104241	2002	21	21				1	1	1	2	-	1	1	1	3	1	1	-	3	1	1	1		2	27	11.3
K	Janitor	Janitor	02-104241	2002	21	21				1	1	1	2	-	1	1	2	2	2	1	-	2	2	1	1		2	28	11.8
	-																											0	
C1	Room 5	C5	02-104241	2002	21	21				1	1	1	1	1	1	1	1	4	1	1	3	1	2	1	1		2	30	12.6
C1	Room 4	C4	02-104241	2002	21	21	1			1	1	1	1	1	1	1	1	2	2	1	3	1	2	1	1	6	2	29	12.2
C1	Room 6	C6 C1	02-104241 02-104241	2002	21	21 19	-		-	1	1	1	1	1	1	1	2	1	2	4	3	1	2	1	1	6	2	32	13.4
C1	Room 1 Work Room	C1 WKRM	02-104241	2005	19	19	+		-	1	1	1	1	1	1	1	1	1	1	1	2	1	2	1	1	6	2	27	10.3
C1	Room 2	C2	02-104241	2005	19	19				1	1	1	1	1	1	1	1	3	1	1	2	1	2	1	1	6	2	30 28	10.6
C1	Room 3	C3	02-104241	2005	19	19				1	1	1	1	1	1	1	1	3	1	1	1	1	2	1	1	6	1	26	9.9
																												0	5.5
C4	Room 12	C12	02-104241	2005	19	19				2	1	- 1	-1	1	1	1	1	4	1	1	2	1	2	1	1	6	2	30	11.4
C4	Work Room	WKRM	02-104241	2005	19	19				2	1	1	1	1	1	1	1	4	1	4	2	1	2	1	1		2	33	12.5
C4	Room 11	C11	02-104241	2005	19	19				2	1	1	1	1	1	1	1	4	1	4	2	1	2	1	1		2	33	12.5
C4	Room 10	C10	02-104241	2005	19	19				2	1	1	1	1	1	1	1	4	1	4	2	1	2	1	1		2	33	12.5
C4 C4	Room 7 Room 8	C7 C8	02-104241 02-104241	2005 2005	19 19	19 19			-	2	1	1	1	1	1	1	1	1	1	1	2	4	2	1	1	6	2	33	12.5
C4	Room 9	C9	02-104241	2005	19	19			-	2	1	1	1	1	1	1	3	1	3	1	2	1	2	1	1	6	2	39 31	14.8
C4	Nooii 9	Co	02-104241	2000	10	10					<u> </u>			- 1			J		3	- '-	2		2					31	11.8
C3	Room 18	C18	02-104241	2005	19	19				1	2	1	1	1	1	1	1	1	1	4	- 1	1	2	1	1	6	2	29	11.0
C3	Work Room	WKRM	02-104241	2005	19	19				- 1	2	1	1	1	1	1	1	1	1	4	2	1	2	1	1		2	30	11.4
C3	Room 17	C17	02-104241	2005	19	19				1	2	1	1	1	1	1	1	1	4	4	1	1	2	1	1		2	32	12.2
C3	Room 16	C16	02-104241	2005	19	19				1	2	1	1	1	1	1	1	1	4	1	1	1	2	1	1		2	29	11.0
C3	Room 15 Room 14	C15 C14	02-104241 02-104241	2005 2005	19 19	19 19			-	1	2	1	1	1	1	1	1	3	1	1	1	1	2	1	1	6	2	28	10.6
C3	Room 14	C14	02-104241	2005	19	19			-	1	2	3	1	1	1	1	1	1	4	4	4	1	2	1	1	6	2	32 37	12.2
	Tuoii 10	0.0	02-104241	2000	10		-		-	<u> </u>	-	-				•			-		-		-				-	0	14.1
C2	Room 24	C24	02-104241	2005	19	19				1	1	1	2	1	1	1	1	4	1	1	4	1	2	2	1	6	2	33	12.5
C2	Room 23	C23	02-104241	2005	19	19				1	1	1	2	1	1	1	3	1	3	4	1	1	1	2	1		3	34	12.9
C2	Room 22	C22	02-104241	2005	19	19				1	1	1	2	1	1	1	1	4	2	1	3	1	2	2	1		2	33	12.5
C2	Room 21	C21	02-104241	2005	19	19				1	1	1	2	1	1	1	3	4	3	1	1	1	2	2	1		3	35	13.3
C2	Room 20	C20	02-104241	2005	19	19	1			1	1	1	2	1	1	1	1	4	1	3	3	1	2	2	1		3	35	13.3
C2	Room 19 Work Room	C19	02-104241 02-104241	2005 2005	19 19	19 19	-			1	1	1	2	1	1	1	1	1	1	4	3	1	2	2	1	6	2	32	12.2
62	WORK ROOM		02-104241	2003	19	ia	+		1	1	1	1	2	1	1	1	3	3	3	4	3	1	2	2	- '	. 0	-	39	14.8
CR1	Portable		02-121488	2023	0	1				1	1	1	1	1	1		1	1	1	1	1	1	2	1	1	1	1	19	<b> </b>
CR2	Portable		02-121488	2023	0	1	1		1	1	1	1	- 1	1	1		1	1	1	1	1	1	2	1	1	1	1	19	
CR3	Portable		02-121488	2023	0					1	1	- 1	- 1	1	1		1	1	1	1	- 1	1	2	1	1	1	1	19	
																												0	
A	Library	Library; BFLC; 5 TON /2021	02-104241	2005	19	19				1	1	-1	1	1	2	1	2	1	2	4	4	1	2	1	1	1	2	29	11.0
A	Makerspace	Makerspace	02-104241	2005	19	19				1	1	1	1	3	1	1	1	3	1	1	-	1	2	1	1	1	2	23	8.7
A A	Storage Admin Corridor	Storage Admin Corridor; (3) 5 Ton/2005	02-104241 02-104241	2005 2005	19 19	19 19	+		-	1	1 4	1	1		1	1	3	1	2	1	-	1	2	1	1	6	2	23	8.7
A	Admin Corndor Staff	Admin Comdor; (3) 5 Ton/2005 Staff Room	02-104241	2005	19	19	+		1	1	1	1	1	1	1	1	3	1	2	3	1	1	2	1	1	6	2	28 30	10.6
A	Workroom	Work room - no accessible work space	02-104241	2005	19	19	†		1	1	1	1	1	1	1	1	3	4	2	4	3	1	3	1	1	6	2	30	11.4
A	Meeting Room	Meeting room	02-104241	2005	19	19				1	1	1	1	1	1	1	3	1	3	4	1	1	2	1	1	6	2	37	14.1
A	Office	Secratery Office	02-104241	2005	19	19	1			1	1	1	1	1	1	1	1	1	1	1	- 1	1	2	1	1		1	24	9.1
Α	Principal	Principal Office	02-104241	2005	19	19				1	1	- 1	- 1	1	1	1	1	1	1	1	- 1	1	2	1	-1		1	24	9.1
A	Storage	Storage	02-104241	2005	19	19	$\perp$			1	1	1	1	-	1	1	3	1	2	1	3	1	2	1	1		2	29	11.0
A	Vice Principal	Assist Principal	02-104241	2005	19	19				1	1	- 1	- 1	1	1	1	1	1	- 1	1	1	1	2	1	1		1	24	9.1

# FACILITY ASSESSMENT DATA SCORING SHEETS

A	Vice Principal	Assist Principal	02-104241	2005	19	19				1	1	1	1	1	1	1	1	1	1	1	1	1	2	- 1	1		1	24	9.1
A	Men Restroom	RR M	02-104241	2005	19	19				1	1	1	1	-	1	1	1	3	1	1	-	1	3	- 1	- 1		2	26	9.9
A	Women Restroom	RR W	02-104241	2005	19	19				1	1	1	1	-	1	1	3	3	2	1	-	1	3	1	1		2	29	11.0
A	Reception		02-104241	2005	19	19				1	1	1	1	1	1	1	1	3	3	1	4	1	2	1	1	6	3	33	12.5
A	Office	Office 3/Speech	02-104241	2005	19	19				1	1	1	1	2	2	1	2	1	3	4	1	1	2	- 1	1		2	33	12.5
		, and the second									1	1	1	1		1	1		1	4	1	1	-	1	1				
A	Nurse Office	Nurse	02-104241	2005	19	19				1				-	1			3				-	3		_		2	31	11.8
A	Office	Office 2/Psychologist	02-104241	2005	19	19				- 1	1	1	1	2	1	1	1	1	1	1	1	1	2	1	1	6	1	25	9.5
A	Office	Office 1/Social Worker	02-104241	2005	19	19				1	1	1	1	2	1	1	1	1	1	1	1	1	2	1	- 1		1	25	9.5
A	Unisex Restroom		02-104241	2005	19	19				1	1	1	1	-	1	1	1	1	1	1	-	1	3	1	1		2	24	9.1
A	Tech	FACP Inside	02-104241	2005	19	19				1	1	1	1	-	1	1	2	1	2	1	-	-	3	- 1	1		2	25	9.5
A	Janitor	Access Roof								1	1	1	1	-	1	1	2	1	1	1	-	1	3	1	1		2	25	0.0
																												0	
М	Multi-Purpose Room	MPR	02-104241	2005	19	19				1	1	2	2	-	1	2	3	3	2	2	-	1	4	1	1	6	3	35	13.3
M	Stage/Music		02-104241	2005	19	19				1	1	3	2	_	-1	2	3	2	3	4	-	- 1	3	1	1		3	37	14.1
M	Backstage Office	* PE office / storage / roof access	02-104241	2005	19	19	<del>                                     </del>			1	1	-	2		1	2	2	2	2	1	1	1	4	1	1	6	3		
M							-	<del>                                     </del>	-			-	2		1			2		2		2	2	1	_	6	2	31	11.8
	Wheelchair Lift	*Used as storage - inaccessible	02-104241	2005	19	19	-		<b>-</b>	1	1					2	2	3	2		-				1			30	11.4
М	Classroom	Music	02-104241	2005	19	19				1	1	2	2	1	1	2	2	2	2	1	3	1	2	1	1		2	33	12.5
M	Electrical / Storage		02-104241	2005	19	19				1	1	1	2	1	1	2	4	3	3	2	-	3	2	- 1	1		3	37	14.1
М	Boys Restroom		02-104241	2005	19	19				- 1	1	2	2	-	- 1	2	3	3	4	2	2	3	2	1	1		3	39	14.8
М	Girls Restroom		02-104241	2005	19	19				1	1	2	2	-	1	2	3	3	3	1	2	3	2	1	1		3	37	14.1
M	Janitor		02-104241	2005	19	19				1	1	2	2	-	1	2	3	3	4	2	-	4	3	1	1		3	39	14.8
М	Kitchen		02-104241	2005	19	19				- 1	1	1	2	-	-1	2	2	4	2	1	-	- 1	2	- 1	- 1		2	30	11.4
M	Kitchen Storage		02-104241	2005	19	19				1	1	1	2	-	1	2	2	4	2	1	-	1	2	1	1		2	30	11.4
М	Roof Access		02-104241	2005	19	19			1	1	1	2	2	l .	2	2	3	1	4	2	2	4	2	1	1	6	3	39	14.8
- M	1001700000		GZ-104241	2000	10	15	<b>-</b>		<b>-</b>			-	-		-	- 2	3	- '	~	-		*	-				3		
	Olds Destroyer		00.404044	2005	40	40	-	<del>                                     </del>		<b>.</b>		_		-	<b>.</b>			-		_	_	4	-	<b>—</b>	<b>.</b>		-	0	0.0
T-1	Girls Restroom		02-104241	2005	19	19	<b> </b>		<b> </b>	1	1	1	1	-	1	1	1	2	1	1	2	1	4	1	1	6	2	28	10.6
T-1	Boys Restroom		02-104241	2005	19	19	<b>—</b>			1	1	1	1	-	- 1	1	3	3	2	2	2	3	3	1	3		3	37	14.1
T-1	Staff Restroom	Staff RR 1 - AG? Update signage	02-104241	2005	19	19				- 1	1	1	1	-	2	1	1	1	1	1	-	1	3	1	3		2	27	10.3
T-1	Staff Restroom	Staff RR 2 - AG? Update signage	02-104241	2005	19	19				1	1	1	1	-	2	1	1	1	1	1	-	1	3	1	1		2	25	9.5
T-1	Janitor		02-104241	2005	19	19	l	1 1	I	1	1	1	1	-	2	1	2	2	3	1	-	2	3	1	1		3	31	11.8
T-2	Girls Restroom	Girls	02-104241	2005	19	1				- 1	2	1	1	-	1	1	2	1	1	1	1	1	3	1	- 1	6	2	27	0.5
T-2	Janitor	Janitor	02-104241	2005	19	1				1	2	2	1	-	1	1	3	2	2	1	-	1	3	1	1		2	30	0.6
T-2	Boys Restroom	Boys	02-104241	2005	19	1	<b>-</b>		1	1	2	1	1	-	1	1	3	3	3	1	2	1	3	1	1	6	2		0.6
T-2	Storage	Storage	02-104241	2005	19	1	<del>                                     </del>			1	2	2	1		1	1	4	3	2	1	-	1	3	1	1	6	2	33	
172	Sitilage	Storage	02*104241	2000	10	-	-	<del>                                     </del>	-	<u> </u>		2	- '	l -	<u> </u>	-	-	3	- 4	- '		<u> </u>	3	<u>'</u>	<u> </u>	- 0		32	0.6
-				1	-		-	1		-				-									-	1	-				
Misc. / Site		REPAIRS			ļ		<b>—</b>																1						
Misc. / Site	Parking Lots	Asphalt Slurry 2005 Restriped Parking Lot/2016							-	-	2	-	-	-	-		-	-	-	-	-	-	-	1	1	-	-	5	
Misc. / Site	Playground	Asphalt Slurry		2023					-	- 1	2	-	-	-	-		-	-	-	-	-	-	-	1	-	-	-	4	
Misc. / Site	Kinder Playground	Asphalt Slurry		2018					-	1	2	-	-	-	-		-	-		-	-	-	-	1	-	-	-	4	
Misc. / Site	Exterior Painting			2005					-	1	1	-	-	-	-		-	-	-	-	-	-	-	1	-	-	-	3	
Misc. / Site	Roofing			2005					-	-	1	-	-	-	-			-	-	-	-	-	-	-	-	-	-	-1	
Misc. / Site	Fire & Intrusion System	Panel replaced		2018	1				-	-	- 1	-	-	-	-		-	-	-	-	-	-	-	l -	-	-	-	0	
Misc. / Site	Regrigerator and Freezer			2005	1		1		-	1	1	1	1	-	-			1	1	1	-	-	l .	-	-	-		7	
Misc. / Site		oppoint		2000	1		-	<del>                                     </del>	-	-	-	-	-	-	-		-:-		-	-	<u> </u>	-		-	-		-		
MISC. / Site	Cement Repairs	ongoing		1		-	<del>                                     </del>	<del>                                     </del>	<u> </u>	<u> </u>	-	-	-	<u> </u>	<u> </u>		-	-	-	-	-	<u> </u>	<del>-</del>	-	<u> </u>	-		0	
<u> </u>				1	-		-	1		-				-									-	1	-			0	
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									<u></u>	<u> </u>	LI			<u> </u>	<u> </u>							<u> </u>	<u></u>	<u> </u>	<u> </u>				
Notes:	Original HVAC in classrooms 2																												
	Need performing arts space (st Need dedicated music room																												
	Need space in Admin Bldg. for	private meetings with families & other parties																					1	1					
<b> </b>	Need calming room								1		1												t	1					
	1						<u> </u>																1	1					

## **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

There is an even distribution of classrooms serving each grade. Each cluster of classrooms are grouped by grade, with the exception of one 4th grade classroom which is in a separate building. There are a number of classroom spaces are being used as specialty staff offices. This campus has a dedicated music space within the Multi-Purpose Room.

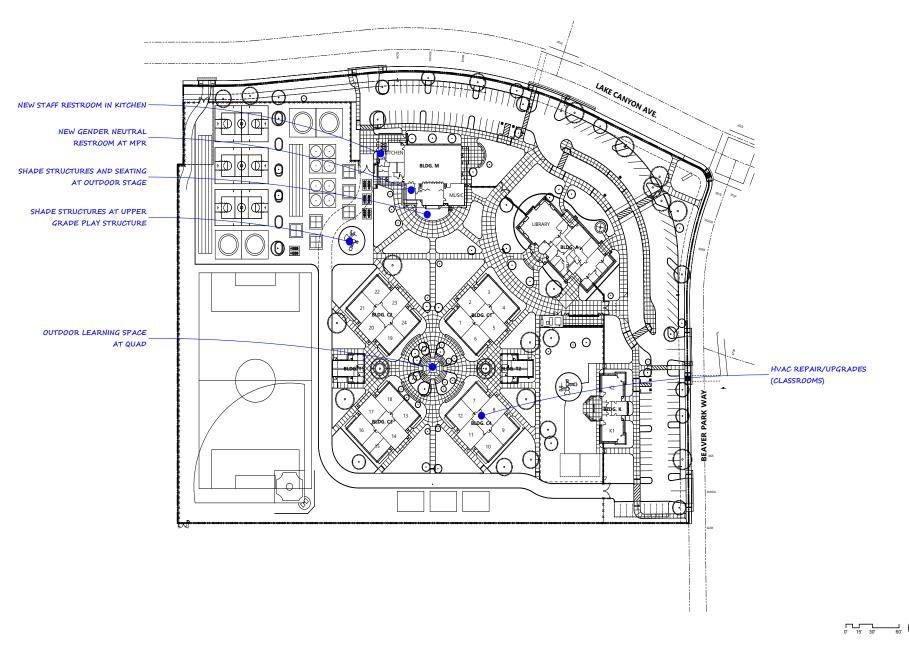
# EXISTING UTILIZATION SITE PLAN

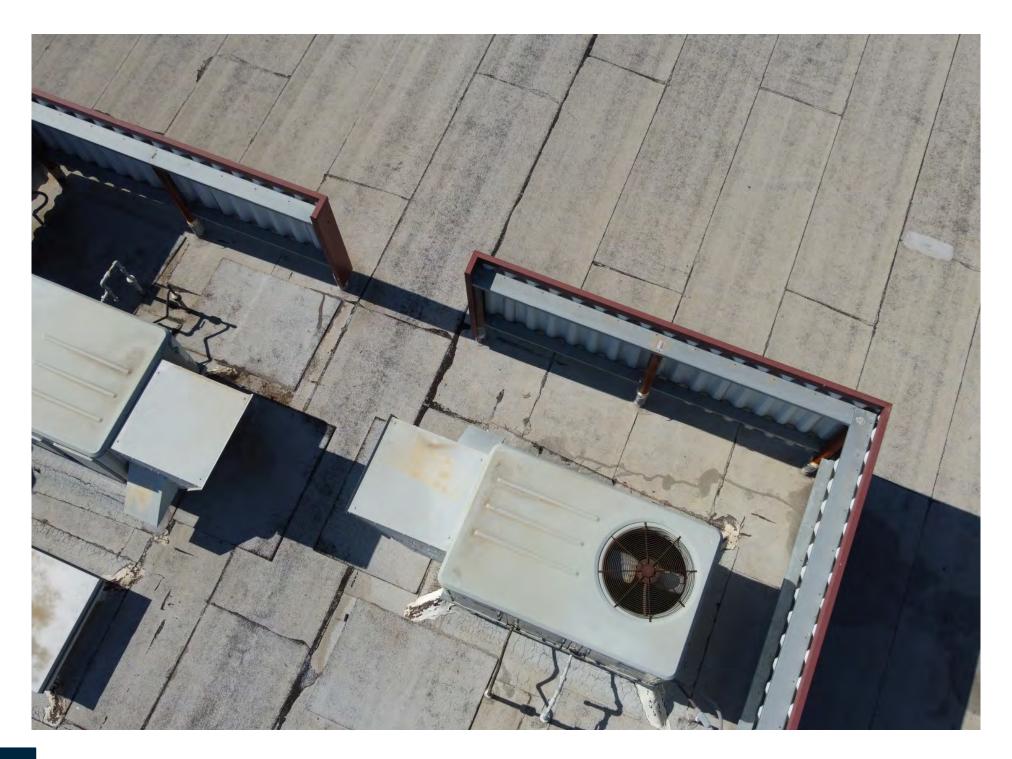






# STAKEHOLDER INPUT





# MAINTENANCE PROJECTS

#### **BUILDING K**

- General surface repair of floors in next 7-10 years
- HVAC System replacement recommended within next year

#### **BUILDING C1**

- General surface repair of floors in next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- HVAC System replacement recommended within next year

#### **BUILDING C4**

- General surface repair of floors in next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC System replacement recommended within next year

#### **BUILDING C3**

- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC System replacement recommended within next year
- Update outdated fixtures where necessary

#### **BUILDING C2**

- General surface repair of floors in next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC System replacement recommended within next year

#### **BUILDING A**

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- General repair and maintenance of ceilings in next 5-7 years

#### **BUILDING M**

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- HVAC System replacement recommended in next 1-5 years

#### **BUILDING T1**

Maintenance/Minor repair of acoustic tile in next 15-20 years

#### **BUILDING T2**

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years



















### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | LAKE CANYON ELEMENTARY SCHOOL

# ONE WAY TO ADDRESS THE NEEDS

As the district's newest addition, Lake Canyon Elementary School is well positioned for successful continued operation in the coming years. To be considered of highest important for campus maintenance work should be evaluation and subsequent replacement of the facilities' HVAC units which are original to the campus's initial construction. Among other campuses as illustrated in this report, Lake Canyon would benefit from the development of an outdoor learning space. The central quad or nearby landscaped areas would provide adequate footprint for the installation of new shade structures and fixed seating to support an outdoor teaching and learning environment. Also in need of shade are the upper grade playgrounds and outdoor amphitheater space south of the Multi-Purpose Room. Other proposed projects include the addition of a single user gender-neutral restroom in the Multi-Purpose Room and a single user dedicated staff restroom within the kitchen.

### PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

### **OUTDOOR STAGE UPGRADES**

 Provide new fixed outdoor furniture and fabric sail shade structures at perimeter of outdoor stage area.

OPINION OF PROBABLE COST: \$763,000

### **CAMPUS SHADE STRUCTURES**

Provide new fabric sail shade structures at existing upper grade playground.

OPINION OF PROBABLE COST: \$190,800

### **OUTDOOR LEARNING SPACES**

• This project would bring to campus a dedicated outdoor learning space at the campus quad, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$386,300

### **GENDER-NEUTRAL RESTROOMS**

• Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M) and a dedicated staff restroom in the kitchen (Building M).

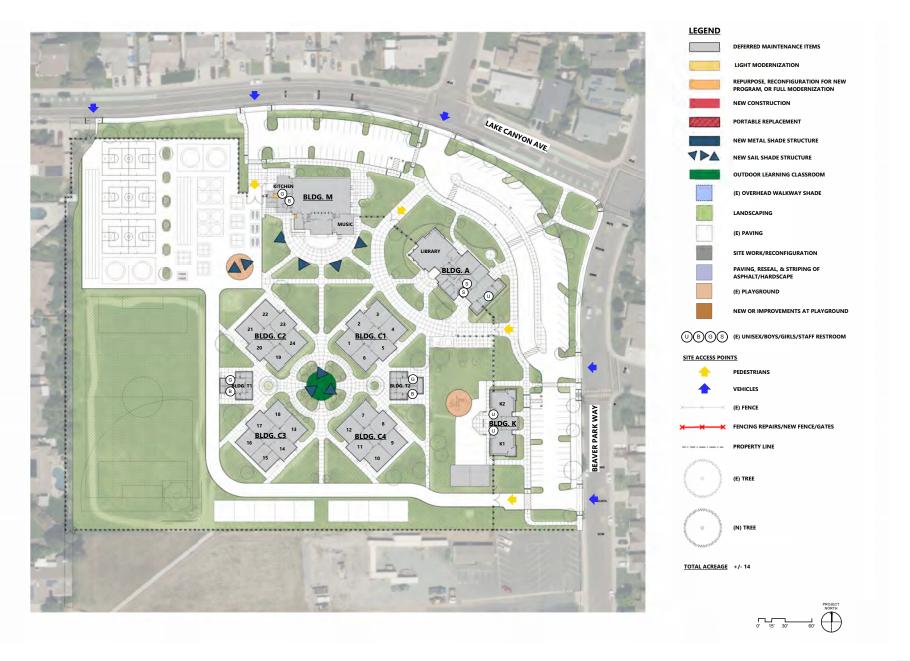
OPINION OF PROBABLE COST: \$171,700

### **HVAC REPLACEMENT**

• Replacement of existing HVAC equipment and systems in-kind of existing buildings: Building M, A, K, T1, T2, C1, C2, C3, and C4. This cost includes updates to heating and cooling systems with power and structural considerations, requiring this project to be approved by the Division of the State Architect. If it is determined that structural changes aren't required, the estimated project cost will differ.

OPINION OF PROBABLE COST: \$8,262,000

# PROPOSED MASTER PLAN





















### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | LAKE CANYON ELEMENTARY SCHOOL

# CONCLUSION

In summary, Lake Canyon Elementary School was observed at the time of assessment to feature well-maintained and modern facilities. The master plan for this campus prioritizes regular deferred and preventative maintenance, such as the repair or replacement of the campus's original HVAC systems, as well as the implementation of select projects, primarily those intended to improve functionality and aesthetics of outdoor spaces. As technology and educational standards progress, consideration should be given to modernizing the facilities. These initiatives will further elevate the school's environment and support its mission of providing quality education to students for years to come.





# MARENGO RANCH ELEMENTARY



# SCHOOL DATA

1000 Elk Hills Drive, Galt, CA 95632







Year Built: 1997

Modernizations and Campus Additions: 1999, 2019

Acreage: 11 Acres

Current Enrollment: 475

 K-3RD
 12

 4TH-6TH
 7

 Special Ed
 1

 ELOP
 8

 Additional
 3

 Total
 31

# SITE AERIAL



# SCHOOL SITE DESCRIPTION

### SITE

The Marengo Ranch Elementary School campus is located at 1000 Elk Hills Drive, Galt, CA. The campus is bounded to the north by Bay Landing Way, to the east by private residences, to the south by Elk Hills Drive and to the west by Bay Shore Drive. The site is a relatively rectangular, 11-acre site sitting east of Carillion Boulevard and west of Robert L. McCaffrey Middle School. The school's campus is comprised of six permanent buildings, three modular classroom buildings on permanent foundations and ten portable classroom buildings on temporary foundations distributed evenly throughout campus. The placement of the permanent buildings is centralized around paved and tree-lined greenways. The permanent buildings house the school's administrative and support spaces, library, multi-purpose space, and kindergarten through fifth-grade classrooms. Campus portable classrooms house sixth-grade classes and student and staff support spaces such as the campus's behaviorist, speech therapist, Expanded Learning Opportunities Program (ELOP), and social worker. The campus has a continuous blacktop play area with dedicated sport courts, two play structures and an adjacent large, irrigated recreation field. An enclosed outdoor Kindergarten area wields a tree-lined grass field and an age-appropriate play structure. There are two parking lots, both entrances are on Elk Hills Drive and the largest lot exits along Elk Hills Drive. The western parking lot contains a passenger drop-off area with ingress and egress connecting Elk Hills Drive and Bay Shore Drive. The eastern lot serves staff and visitor parking with two spaces currently designated by the campus for ADA use. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. In general, door hardware at classroom buildings includes lock-sets lockable from either side, demonstrating intent for continued campus-wide security.

### BUILDINGS

Marengo Ranch Elementary School was originally constructed in 1997 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of metal framing, metal framed dual-pane windows, exterior stucco with stucco trim, steel columns, and concrete slab flooring. Building A, H, and G have cement siding instead of stucco. The building materials for the permanent portable classroom Buildings include plywood siding and wood trim, vented concrete all four sides of the classrooms, and metal framed dual-pane windows. All campus buildings are detached. The roofs on the permanent buildings appeared, at the time of assessment, to be in acceptable condition. It is recommended that HVAC equipment and systems be considered for immediate repair or replacement for continued operation. The portable classroom buildings' roofs appeared to be in acceptable condition and would only need cosmetic repairs at this time.

### **PROGRAM SPACES**

Finishes throughout Marengo Ranch's permanent classroom buildings appeared to be in acceptable condition with minimal cosmetic damage. Typical surface materials included broadloom carpet, vinyl tile flooring, lay-in acoustic ceiling tiles, hollow metal doors, plastic-laminate veneer at plywood or MDF casework, rubber floor base, tackable wall covering and interior paint. These materials were consistent with the construction of other permanent buildings campus wide. While the existing program spaces are adequate in supporting the current needs of the campus, modernization should be considered as technological and educational standards continue to evolve.



Large tear in ceiling finish



Cracks appearing on blacktop



Floor damage due to kitchen equipment



Major water damage to ceiling tiles



Water damage to ceiling tiles

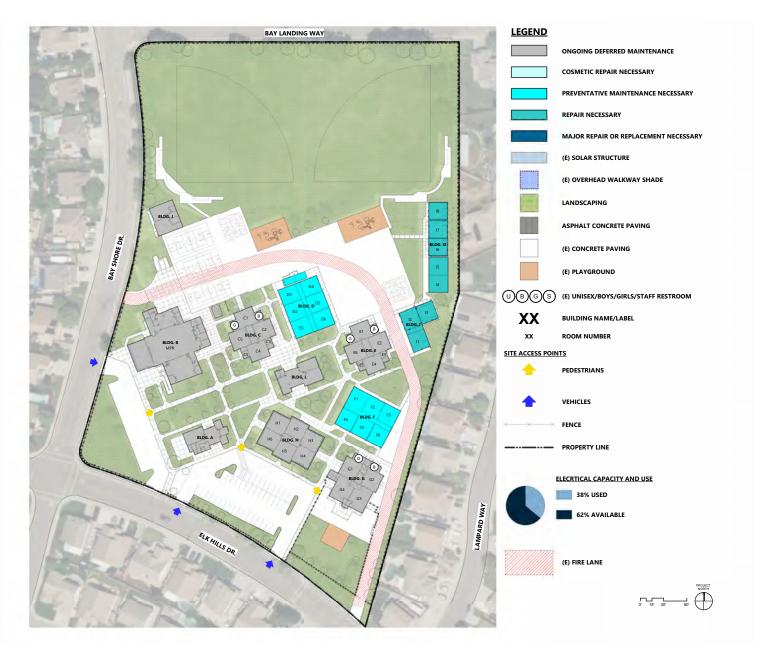


Gaps between asphalt and concrete



Portable exterior damage

# ASSESSMENT SITE PLAN



# FACILITY ASSESSMENT DATA SCORING SHEETS

This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

GALT	OINT HNION EL	EMENTARY SCHOOL DISTRIC	T																							EACI	I ITV A	ASSESS	CMEN	_
	O RANCH ELEMENTA		<u> </u>																							FACI	LIII	SOES	DIVICIN	
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'his worksheet es	ablishes data for determination of priority	projects across a campus or district wide level. Please note that the findings in	n this spreadshe	et are base	d on the archit	ect's field observations	only. In the	event any	r						Rating Key	у .														<u> </u>
nazardous, structu architect will repor	ral, or fire and life safety discrepancies are any findings of this nature to the district.	witnessed by the architect, the district may be required to conduct additional	testing or resear	ch to ensure	e the safety of	the students, staff, an	a community.	Ine								1= 2=	1	cosmetic r	necessary repair neces	sary										1-5 6-10
								ŀ								3= 4=		repair nec												11-15 16-20
																5= 6=		repair neo major repa	essary for u air needed fo		ars e continued	use						$\vdash$		21-25 26+
BUILDING	ROOM	USE / NOTES	DSA#	YEAR	AGE	AGE SINCE MOD	HAZ S	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	FURNITURE	WALL	FLOOR	WALLS	CEILING	CASEWK	FIXTURES	s ACOUS	EYT DAIN!	SIGNAGE	HVAC	AESTH.	SUM	PRIORITY
С	Girls Restroom	OGE / NOTES	62934	RUII T 1997	27	5	100	3111001.	110	ALA	1	1	1	2	-	1	1	FINISHES 1	1	1	1	-	2	1	1	1	1	1	18	FACTOR 1.8
С	Boys Restroom		62934	1997	27	5					1	-1	1	2	-	1	- 1	2	3	2	1	-	2	1	1	1	1	2	23	2.3
С	Room C1		62934	1997	27	5					1	1	1	2	1	1	- 1	2	2	2	2	4	2	2	1	1	1	2	30	3.0
С	Work Room	Teacher Workspace	62934	1997	27	5					1	1	1	2	1	1	1	1	2	1	3	2	1	3	1	1	1	2	27	2.7
С	Room C2		62934	1997	27	5					1	1	1	2	1	1	1	2	2	1	3	2	2	3	1	1	3	2	31	3.1
c	Room C3	Social Worker Electical Panels/Cage	62934 62934	1997 1997	27 27	5					1	1	1 2	2	1	1 2	1	1	1 2	1 2	4	-	2	2	1	1	-	2	24 26	2.4
C	Equipment Room C4	Electical Panels/Cage	62934	1997	27	5					1	1	1	2	1	1	1	2	2	2	1 3	2	1	2	1	1	1	2	28	2.6
С	Room C5	Speech	62934	1997	27	5					1	1	1	2	1	1	1	2	1	2	3	3	2	1	1	1	-	2	27	2.8
С	Unisex Toilet	Unisex Toilet/ roof access	62934	1997	27	5					1	1	1	2			1	1	2	2	1	-	2	1	1	1	1	2	20	2.0
С	Room C6		62934	1997	27	5					1	1	1	2	1	- 1	- 1	3	1	2	3	2	2	1	1	1	1	2	28	2.8
D	P-Room D1		02-100484	1997	27	24					2	1	1	2	2	1	1	2	3	2	2	1	1	1	2	1	1	3	29	13.9
D D	P-Room D2 P-Room D3		02-100484	1997	26 26	24	$\vdash$				2	1	1	2	2	1	1	2	2	2	2	2	2	1	2	1	1	3	33 29	15.8 13.9
D	P-Room D4		02-100484	1997	26	24					2	1	1	2	2	1	1	2	2	1	1	2	1	1	2	1	1	3	29	13.9
D	P-Room D5		02-100484	1997	26	24					2	1	1	2	2	1	1	2	1	1	2	2	1	1	2	1	4	3	30	14.4
D	P-Room D6		02-100484	1997	24	24					2	1	1	2	2	1	1	2	1	1	2	1	1	1	2	1	6	3	31	14.9
D	Portable R1	Conference Room	02-102248	2001	22	22					2	1	1	2	2	1	1	2	2	2	2	-	2	1	2	1	6	3	33	14.5
D	Speech	SLP									2	1	2	2	2	1	1	2	1	2	2	-	2	1	2	1	6	3	33	0.0
	Trailer-IEP Specialiest																										6		6	0.0
E E	Room E1 Girls Restroom		62934 62934	1997 1997	27 27	5					1	1	1	2	1	1	1	2	1	1	1	2	2	2	1	1 1	3	1	33 19	3.3
E	Girls Restroom  Boys Restroom		62934	1997	27	5					1	1	1	2		1	1	1	2	2	1 3	2	3		1	1	3	3	19 28	1.9
E	Room E2		62934	1997	27	5					1	1	1	2	1	1	1	2	3	2	2	2	2	1	1	1	3	2	29	2.9
E	Work Room		62934	1997	27	5					1	-1	1	2	1	1	- 1	2	2	2	2	2	1		1	1	3	2	26	2.6
E	Room E3	Psychologist	62934	1997	27	5					1	1	1	2	1	1	- 1	2	1	4	4	-	2	1	1	1	3	3	30	3.0
E	Equipment		62934	1997	27	5					1	1	1	2	1	1	1	1	2	1	1	-	1		1	1	3	2	21	2.1
E	Room E4		62934	1997	27	5					1	1	3	2	1	1	1	3	1	3	3	2	2	2	1	1	3	3	34	3.4
E	Room E5 Tollet	Speech Roof Access	62934 62934	1997 1997	27 27	5					1	1	1	2	1	1	1	3	1	3	1	2	2	1	1	1	3	3	27 36	2.7
E	Room E6	Roof Access	62934	1997	27	5					1	1	2	2	1	2	1	2	2	3	2	2	2	1	1	1	3	3	28	3.6 2.8
_	TOOM LO		02004	1001	2.5	3						<u> </u>	-	-		-	<u> </u>	-	1	J	-	-	-			<u> </u>	-	_	- 20	2.0
F	P-Room F1	Reading Room	02-101195	2000	23	23					2	2	2	2	1	1	1	3	1	3	1	3	2	2	1	1	6	3	37	17.0
F	P-Room F2	Reading Room	02-101195	2000	23	23					2	2	2	2	1	1	1	3	1	3	1	1	2	2	1	1	6	2	34	15.6
F	P-Room F3		02-101195	2000	23	23					2	2	2	2	1	1	1	2	1	2	1	1	2	1	1	1	6	2	31	14.3
F	P-Room F4 P-Room F5	Behaviorist Characterist	02-101195	2000	23	23	$\vdash$				2	2	2	2	1	1	1	1 2	3	3	1	1	2	1	1	1	6	2	33	15.2
F	P-Room F5 P-Room F6	Storage/Science Social Worker	02-101195 02-101195	2000	23 23	23	$\vdash$				2	2	2	2	1	1	1	2	1	3	1	1	2	1	1	1	6	2	32 32	14.7
F	Work Room	COURT FFUNCI	02-101195	2000	23	23 23					-		1		1	1	1	1	1	1	1	3	1	1	-	1	- 0		- 52	14.7
													<u> </u>		T .			Ė		Ė			<u> </u>	<u> </u>					<b>†</b>	
G	Room G1		62934	1997	27	5					2	1	2	2	1	1	1	2	3	2	4	2	2	1	1	1	3	2	33	3.3
G	Work Room 1		62934	1997	27	5					2	1	2	2	-	1	1	2	2	1	1	3	3	1	1	1	1	2	27	2.7
G	Room G2	Student Support	62934	1997	27	5					2	1	2	2	1	1	1	2	3	2	4	2	2	1	1	1	4	2	34	3.4
G G	Room G3 G3 RR	Kindergarten Kindergarten Restroom	62934 62934	1997 1997	27 27	5	$\vdash$				2	1	2	2	2	1 2	1	2	3	2	5	4	2	2	1	1	3	2	39 29	3.9
G	Work Room 2	There is no accessible counter or work area	62934	1997	27	5					2	1	2	2		1	1	4	3	4	2	3	1	1	1	1	3	3	29 35	2.9 3.5
G	Room G4	Kindergarten	62934	1997	27	5					2	1	2	2	1	2	1	3	3	4	5	2	2	2	1	1	3	3	40	4.0
G	G4 RR	Kindergarten Restroom	62934	1997	27	5					2	1	2	2	-	2	1	3	4	3	5		2	1	1	1	3	3	36	3.6
G	Storage		62934	1997	27	5					2	1	3	2	-	3	1	4	2	4	3	4	2	1	1	1	3	3	40	4.0
G	Girls Restroom		62934	1997	27	5					2	1	2	2	-	5	1	2	2	2	1	-	5	1	1	1	3	3	34	3.4
G	Boys Restroom		62934	1997	27	5					2	1	2	2	-	2	1	3	2	3	6	4	4	1	1	1	3	3	41	4.1
	Draw III		62934	4007	07		$\vdash$				<b>L</b> .	<b>.</b>	-			١.,	<b>L</b> .	_		-	<b>L</b> .			-	L .	l .		-	27	<b>↓</b>
н	Room H1 Room H2		62934 62934	1997 1997	27	5	$\vdash$				1	2	2	2	2	1	1	2	2	1	4	1	2	2	1	1	6	3	37 34	3.7
п	Room nz	ļ	02934	1997	21	5	ı	J		l	1 '	- 2	2	- 2	1 '	1 '	1 '	1 '	2	1 '	4		2	2	1 '	1 '	0	4 3	34	3.4

# FACILITY ASSESSMENT DATA SCORING SHEETS

										1																			
Н	Work Room		62934	1995	28	5	1			1	1	2	2	-	1	1	1	2	4	4	2	1	1	1	1		3	34	3.4
Н	Room H3		62934	1995	28	5				1	1	2	2	1	1	1	1	4	1	1	3	2	2	1	1	6	3	34	3.4
Н	Room H4		62934	1995	28	5				1	1	4	2	1	1	1	3	2	3	1	3	2	2	1	1		3	38	3.8
Н	Room H5		62934	1995	28	5				1	1	2	2	1	1	1	2	2	1	1	4	2	2	1	- 1		3	34	3.4
Н	Room H6		62934	1995	28	5				1	1	2	2	1		1	2	5	1	4	4	2	2	1	- 1	6	4	40	4.0
- 1	P-Room I-1	Band	02-101195	2000	23	23				2	2	2	2	2	1	- 1	4	2	3	1	3	2	2	2	- 1		3	41	18.9
- 1	P-Room I-2	PE	02-101195	2000	23	23				2	2	2	2	2	1	1	3	2	3	1	3	2	2	2	1		3	40	18.4
1	P-Room I-3	Sensory Room	02-102248	2001	22	22				2	2	2	2	2	1	1	3	2	3	4	4	2	1	2	- 1		3	43	18.9
12	P-Room I-4	EL Supervisor	02-103372	2002	21	21				2	2	2	2	2	1	1	2	2	3	4	4	2	2	2	- 1		3	43	18.1
12	P-Room I-5	Resource Room - currently being used as storage	02-103372	2002	21	21				2	2	2	2	2	1	1	2	3	4	4	4	2	1	2	1	3	3	41	17.2
12	P-Room I-6	Expanded Learning	02-104505	2005	18	18				2	2	2	2	2	1	1	3		4	3	4	2	2	2	1		3	47	16.9
12	P-Room I-7	Expanded Learning	02-104505	2005	18	18				2	2	2	2	2	1	- 1	- 1	4	4	4	3	2	2	2	- 1		3	44	15.8
12	P-Room I-8	Expanded Learning	02-104505	2005	18	18				2	2	2	2	2	1	1	1	2	4	1	1	2	2	2	- 1		3	37	13.3
																												0	0.0
Α	Secretary Office	6 TON / 2011	62934	1995	28	5				- 1	- 1	1	2	1	1	1	2	-1	2	1	-	1	- 1	- 1	- 1	3	2	23	2.3
Α	Principal		62934	1995	28	5				- 1	- 1	1	2	1	1	1	- 1	- 1	1	1	-	1	- 1	- 1	- 1	3	1	20	2.0
A	Assistant Principal		62934	1995	28	5	1			1	1	1	2	1	1	1	1	1	1	4	-	1	1	1	1	3	1	23	2.3
A	Lobby		62934	1995	28	5	t		1	1	1	3	2	1	1	1	1	4	1	1	1	1	1	1	1	3	2	27	2.7
Α.	Meeting Rm	6 TON / 2019	62934	1995	28	5	1		1	1	1	1	2	1	1	1	1	4	1	4	3	1	1	1	1	6	2	33	3.3
A	Health Office		62934	1995	28	5	<del>                                     </del>		+	1	1	1	2	1	1	1	4	3	4	4	3	1	1	1	1	6	2	38	3.8
A	Health Office RR	Linisex/ADA	62934	1995	28	5	1		1	1	1	1	1	1	1	1	1	1	1	1		1	1	1	1	6	1	22	2.2
A	RR 1	Unisex/ADA	62934	1995	28	5	t	+ + -	1	1	1	1	2	1	1	1	1	1	1	1		1	1	1	1	6	1	23	
A	RR 2	Unisex/ADA	62934	1995	28	5	t	+ + -	1	1	1	1	2	1	1	1	1	1	1	1		1	1	1	1	6	1	23	2.3
	ON Z	SHIJARDA	UL 0U4	1885	20	5	1	<del>                                     </del>	1	<del></del>	<del></del>	<u> </u>	-		-	_		$\vdash$		-	<del>'</del>	<del></del>	<u> </u>			_ •	<u> </u>	-3	2.3
В	Multi-Purpose	12.5 TON / 2017	02-116660	2020	3	5	l –	<del>                                      </del>	1	<del>                                     </del>	<del>                                     </del>				1							<del>                                     </del>	<b>†</b>			3		4	0.4
В	Multi-Purpose	12.5 TON / 2019	62934	1995	28	5	t		1	<del>                                     </del>	<del>                                     </del>				1							<del>                                     </del>	1			3		5	0.4
В	Multi Purpose Room 2F	Exit Door Missing Closer	62934	1995	28	5	1			1	2	-	2		2	1	2	2	2	2		2	1	1	2	4		31	3.1
В	Music Storage 2F	Music storage	62934	1995	28	5	<del>                                     </del>	<del></del>	+	1	2	2	2	-	2	-	2	2	2	1	2	2	-	1	2	-		28	
В	Multi Purpose Room 1F	Porch-Lift Wheelchair	62934	1995	28	5	<del>                                     </del>	<del></del>	+	1	2	2	2	-	1	1	2	2	4	2	2	2	1	1	2	-		33	2.8
В	Storage 2F	Supply storage	62934	1995	28		1		-	1	2	2	2	-	1	1	2	2	2	1	2	2	1	1	2	4		28	3.3
В	Boys RR	Supply storage	62934			5		l —		+	2	1	2	-	1	1	1	1	1	1	- 2	1	1	1	1	4			2.8
В	Girls RR		62934	1995 1995	28 28	5	<del> </del>		+	+	2	-	2	-	1	-	-	-	1	1	-	1	- 1	1	-	4		20	2.0
В	ADA RR					5	1		-	1	2	-	2	-	1	1			1	1	-	1	1	1		4		20	2.0
В	Kitchen		62934 62934	1995 1995	28 28	5	<del>                                     </del>		+	1	2	-	2	-	1	-	2	2	1	1	-	1	- 1	1	2	4		28	2.0
В	Kitchen RR						<del>                                     </del>		+	1	2	1		-	1	1	1	1	1	1	3	-	1	1	2	4			2.8
В	Kitchen Storage		62934 62934	1995 1995	28 28	5	<del>                                     </del>		+	1	2	-	2	-	1	-	1	2	1	1	-	1	1	1	2	4		24	2.4
В	Kitchen Storage Kitchen Office		62934	1995	28	5	<del>                                     </del>		+	1	2	1	2	-	1	1	- 1	2	1	1	-	1	1	1	2	4		25	2.2
В	Walk-In Cooler		62934	1995	28	5	<del>                                     </del>		+	+	2	-	2	-	1	1	-	2	1	1	1	1	-	1	2	4		23	2.5
В	Utility 1F		62934	1995	28	5		<b>—</b>		1	2	1	2	-	1	1	2	2	2	1	-	2	- 1	1	2	-		28	2.3
В	Storage A 1F		62934	1995	28	5	<del>                                     </del>		+	1	2	1	2	-	1	1	2	2	2	1	3	2	1	1	2	4		29	2.8
В							1		-	1	2	2	2	-	1	1	2	2	2	2	3	2	1	1	2	4		32	2.9
В	Workshop Storage B 1F		62934 62934	1995 1995	28 28	5	1		-	1	2	2	2	-	2	1	2	2	2		3	1		1	2	4		26	3.2
						5		<b>-</b>						-		1		_		1	-	-	1	_		4			2.6
В	Stage/Music	8.5 Ton / 1997	62934	1995	28	5	1		+	1	2	1	2	-	2	1	2	2	2	1	-	-	-	1	2	6		25	2.5
-	Library / Reading Area		02-116660	2020	3		<del>                                     </del>		1	1	<b>.</b>	2	2	1	1	2	2	-	2	4	2	-1	2	2	2			28	
L	Computer Lab / Maker Space		62934	1995	28	3	1		1	1	+	1	2	1	1	2	2	1	2	4	2	1	2	2	2			27	1.7
L	Electrical Closet		62934	1995	28	3	<del>                                     </del>	+ + -	+	1	1	1	2		1	2	2	2	2	1		1	1	2	2			21	1.6
-	Electrical Closet		02934	1990	20	3	<del>                                     </del>	$\vdash$	1		-	<u> </u>	2		-	2	2	2	2		<u> </u>			2	2			0	1.3
-		REPAIRS		-		-	<del>                                     </del>	$\vdash$	1	-	<del>                                     </del>											-	-					0	0.0
-	Parking Lots	Asphalt Slurry	1	<del>                                     </del>	1	-	<del> </del>		1	1	١.	-			-						<b> </b>	<del>                                     </del>		1				3	0.0
-	Playground	Asphalt Slurry Asphalt Slurry	1	<del>                                     </del>	2012	1	1	+ + -	+ -	1	1	<del>-</del>			-		-	$\vdash$			<del>-</del>	1	<u> </u>		<u> </u>		<u> </u>	2	0.0
<b>H</b>	Kinder Playground	Asprait Sturry Asphalt Sturry		<del>                                     </del>	2012	1	1	+ + -	+ -	1	1	<del>-</del>			-		-	$\vdash$			<del>-</del>	1	-		<u> </u>		-	2	0.0
<b>H</b>	Exterior Playground	Aspirat Sturry		<del>                                     </del>	2010	1	1		+ :-	1	1	<del></del>			-			H :- H			<del></del>							2	0.0
<b>H</b>	Exterior facde replacement and painting			<del>                                     </del>	2019-2020	1	1		+ :-	1	+ :-	<del></del>			-		1	H :- H		÷	<del></del>							2	0.0
<b>H</b>	Roofing			<del>                                     </del>	2019-2020	<b>-</b>	1		+ :-	+ :-	2	<del></del>			-			H :- H			<del></del>							2	0.0
<b>H</b>	Fire & Intrusion System	Panel replaced 2019		<del>                                     </del>	2019-2020	<b>-</b>	1		+ :-	1	-	<del></del>			-			H :- H			<del></del>							0	0.0
<b>H</b>	Refrigerator and Freezer	Refrigerator 1997/Freezer 2018		<del>                                     </del>	2010	<b>-</b>	1	<del>                                     </del>	+ -	1	1	-	1		-		-	$\vdash$			<del>-</del>	-	<u> </u>		<u> </u>		<u> </u>	4	0.0
-	Cement Repairs	Refrigerator 1997/H-reezer 2018 Ongoing		-		-	1	-	+-				-	-			-	1	1	1	<u> </u>	<u> </u>	<del>-</del>	-	-	-	-	6	0.0
<b>—</b>	Cement Repairs  XFRMER		<del>                                     </del>	<del>                                     </del>	<del>                                     </del>	-	1	+	H -	<u> </u>	3	<u> </u>	-				-		1		-	<u> </u>	<u> </u>		<u> </u>	-	<u> </u>		0.0
	AFKMEK	Conc Curb, Equip aging? Pnl mntg-need repr, No access	<del>                                     </del>	<del>                                     </del>	<del>                                     </del>	-	1	$\vdash$	H -			<u> </u>	H				-				<u> </u>		<u> </u>	-	<u> </u>	-	<u> </u>	0	0.0
-	Review door hardware, typ.		1		1		1	-	1	-	-			-								-		-				U	0.0
Notes:	Shade structures, security in office (Barriers	) some HVAC Units - interior room upgrades, asphalt hard courts, add private	meeting space	(6 people).			-		1	-	-											-		-					
-	Need performing arts space (stage, lighting Need dedicated music room	etc.)					-		1			l -	$\vdash$	<del>-  </del>					$\vdash$		<b>-</b>			-				$\vdash$	
	Need space in Admin Bldg, for private meet	ings with families & other parties					-		1		-	<b> </b>	$\vdash$	<del>-  </del>					$\vdash$		<b>-</b>	-		-					
Need calming room									1														1						

### **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

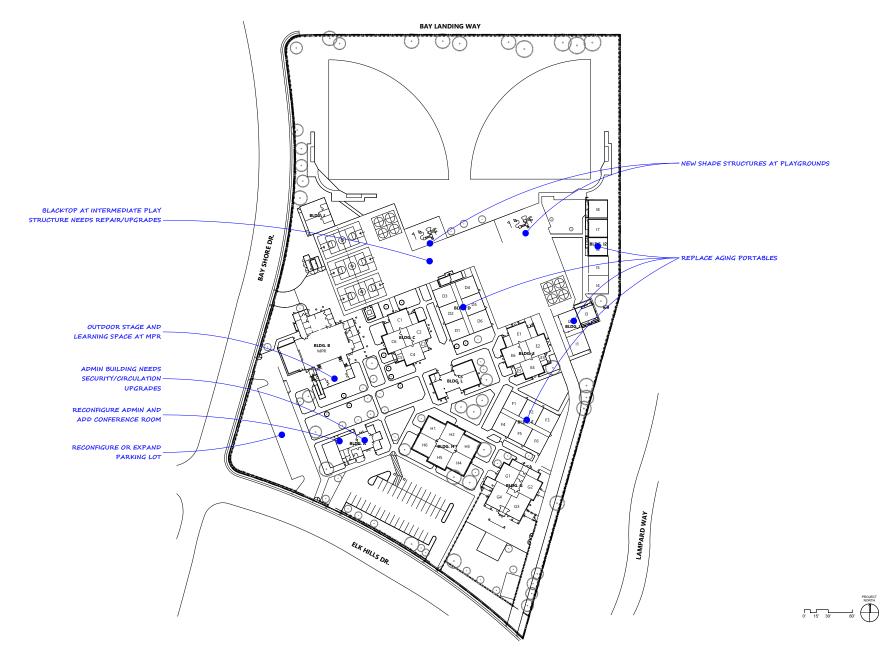
Grades at Marengo Ranch are grouped within close proximity of one another, excepting one 6th grade classroom. There is an even distribution of spaces per grade with a significant number of specialized staff classrooms and support spaces. Currently, the school's science room is being used to hold overflow storage. Physical education and music have dedicated spaces.

# EXISTING UTILIZATION SITE PLAN





# STAKEHOLDER INPUT





# MAINTENANCE PROJECTS

#### **BUILDING C**

- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years

#### **BUILDING D + TRAILER**

- Minor touch-up of floors recommended in next 10-15 years
- HVAC System replacement recommended in next 1-5 years

#### **BUILDING E**

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years

#### **BUILDING F**

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- HVAC System replacement recommended within next year

#### **BUILDING H**

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- Aging casework, replacement recommended within next 5 years
- HVAC System replacement recommended within next year

#### **BUILDING A**

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- HVAC System replacement recommended in next 1-5 years

#### **BUILDING B**

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended in next 10-15 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

#### **BUILDING L**

General repair and maintenance of ceilings in next 5-7 years



















### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | MARENGO RANCH ELEMENTARY SCHOOL

## ONE WAY TO ADDRESS THE NEEDS

Like Lake Canyon, Marengo Ranch ES is a comparatively new campus in the district. The school's permanent buildings are in relatively good condition and would only warrant cosmetic updates and deferred maintenance in the immediate future. However, the school's relocatable classrooms are over twenty years old and in need of replacement. This proposed conceptual plan includes the in-kind replacement of all buildings of portable or modular construction: Building D, Building F, Building I, and Building I.2.

Most of the proposed work at this campus involves the site and outdoor elements. In need of maintenance is the campus's blacktop hardscape. This report proposes the resurfacing of the existing asphalt play areas and the application of colored coating to sports courts and play-lines. Another need expressed by the users is the addition of shade structures at the campus's existing playgrounds and outdoor seating and lunch areas. Permanent shade structures increase usability of these external spaces for various outdoor curricula, protected from the intense summers experienced in the California central valley.

Increasing staff numbers and enrollment justifies the expansion of the existing parking lots. This conceptual plan proposes the expansion of the western parking lot to accommodate for additional staff and visitors' parking without disrupting the existing drop-off area.

Finally, current campus performing arts programs would benefit from the construction of an outdoor stage adjoining the existing Multi-Purpose Room (Building B). Project would include providing access from and minor reconfiguration of existing backstage area within the Multi-Purpose Room as necessary.

### PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

### PARKING LOT RECONFIGURATION

• Improvements and expansion of existing west parking lot to accommodate growing need for staff and visitor parking. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$1,268,500

### **CAMPUS SHADE STRUCTURES**

• Provide new metal shade structures at existing playrounds and lunch areas.

OPINION OF PROBABLE COST: \$262,300

### PLAY AREA UPGRADES

• Resurfacing of the existing asphalt play areas and application of blacktop coating to sport courts to add color while prolonging its lifespan.

OPINION OF PROBABLE COST: \$1,487,900

### **OUTDOOR STAGE**

Construct a concrete outdoor stage to adjoin the existing Multi-Purpose Room (Building B). Project
would include providing access from and minor reconfiguration of existing backstage area within the
Multi-Purpose Room as necessary.

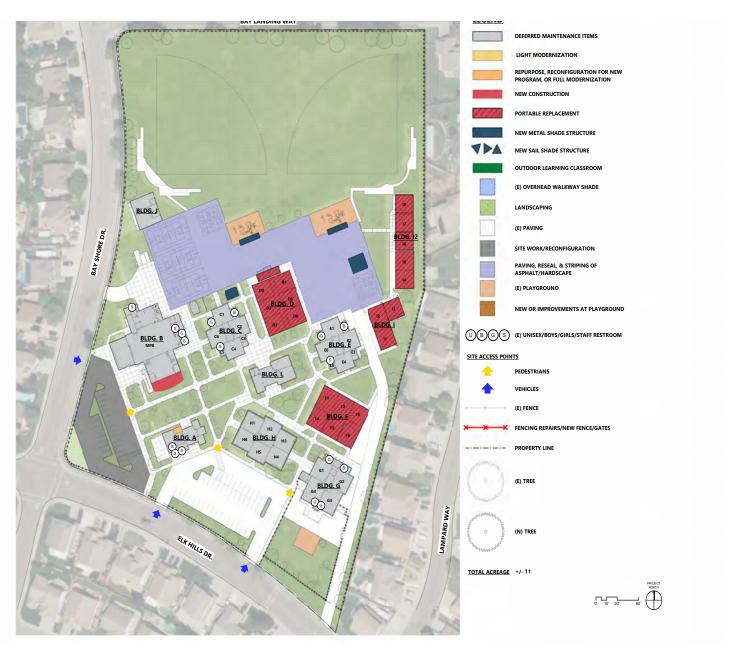
OPINION OF PROBABLE COST: \$720,000

### PORTABLE CLASSROOM REPLACEMENT / RELOCATION

• Sequenced in-kind replacement of the campus's aging relocatable classrooms: Building D, Building F, Building I & Building I2.

OPINION OF PROBABLE COST: \$19,757,900

# PROPOSED MASTER PLAN





















# CONCLUSION

In conclusion, most of Marengo Ranch Elementary School, being a relatively new campus in the district, its permanent facilities feature modern, functional spaces, fixtures and finishes. However, its portable classrooms are aging and necessitate replacement, as outlined in the proposed conceptual plan. The other focus of this campus plan is the enhancement of the site's outdoor spaces: reconfiguring vehicular circulation and parking lot quantities, improving the existing play areas and providing enjoyable outdoor environments for learning, performing arts, and recreation. These proposed enhancements align with the school's commitment to providing adequate teaching and learning facilities to meet the current and future needs of its students and staff.





# RIVER OAKS ELEMENTARY SCHOOL



### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | RIVER OAKS ELEMENTARY SCHOOL

905 Vintage Oak Avenue, Galt, CA 95632







Year Built: 1992, 1993-1997

Modernizations and Campus Additions:

2017, 2020, 2022

Acreage: 10 Acres

Current Enrollment: 518

> K-3RD 12

4TH-6TH 8

Special Ed 5

Total Classroom Spaces:

ELOP 5

Additional 5

35 Total

# SITE AERIAL



# SCHOOL SITE DESCRIPTION

### SITE

The River Oaks Elementary School campus is located at 905 Vintage Oak Avenue, Galt, CA. The campus is bounded to the north by undeveloped land, to the east and west by private residences, and to the south by Vintage Oak Avenue. The campus is relatively square, sitting on a 10-acre site. The school's campus is comprised of seven permanent buildings which surround a tree-lined greenbelt at the campus center. There are fifteen portable classroom buildings lining the north perimeter of the developed campus area and scattered amidst the permanent buildings. The seven permanent buildings house the school's library, administrative and support spaces, multipurpose room, and kindergarten through fifth grade classrooms. The campus's portable classroom buildings house sixth grade and overflow second and third grade classrooms, as well as the campus's special day classrooms and various student and staff support programs. The campus has three separate asphalt play areas. North of the campus buildings is an irrigated recreation field. The kindergarten building has a dedicated hardcourt and play structure area and the remaining two hardcourts are on in the eastern and western areas of the site serving the upper grades. There are two parking lots with ingress and egress along Vintage Oaks Avenue. The eastern parking lot directly in front of the kindergarten classroom building is used for staff and visitor parking has two parking stalls designated by the campus for ADA use.

### BUILDINGS

River Oaks Elementary School was originally constructed in 1992 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of wood framing, metal framed dual-pane windows, exterior stucco and brick with wood trim, brick columns, and concrete slab flooring. The building materials for the portable classroom Buildings include plywood siding and wood trim, metal framed dual-pane windows, and set on wood sleepers over AC paving with wood and metal ramps. All the campus' buildings are stand-alone and not connected by covered walkway. The roofs on the permanent buildings appear to be in acceptable condition. It is recommended that select HVAC roof top units be considered for immediate repair for continued use. The portable classroom buildings' roofs appeared to be in acceptable condition and would only justify cosmetic repair at the time of assessment.

### **PROGRAM SPACES**

Condition of finishes throughout River Oaks' facilities varied between buildings. The majority of the permanent structures presented to be in acceptable condition. Identified as a candidate for modernization is Building D, which currently houses 1st and 2nd grade classrooms. Typical surface materials included broadloom carpet, vinyl tile flooring, lay-in acoustic ceiling tiles, hollow metal doors, plastic-laminate veneer at plywood or MDF casework, rubber floor base, tackable wall covering and interior paint. These materials were consistent with the construction of all other permanent buildings campus wide. While the remaining existing program spaces are adequate in supporting the current needs of the campus, modernization should be considered as technological and educational standards continue to evolve. Staff and community at this campus have expressed the desire for additional/supplemental program spaces as well as the modernization of existing facilities.



water damage on ceiling tiles



storage rooms are messy and unorganized



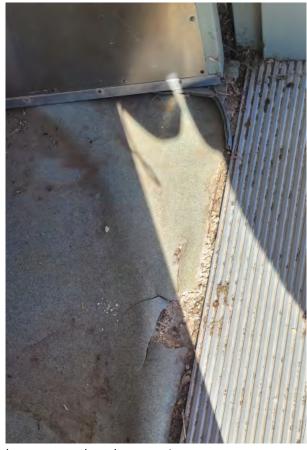
walls have wear and tear



mechanical equipment and roof are dirty



cracks appearing on asphalt

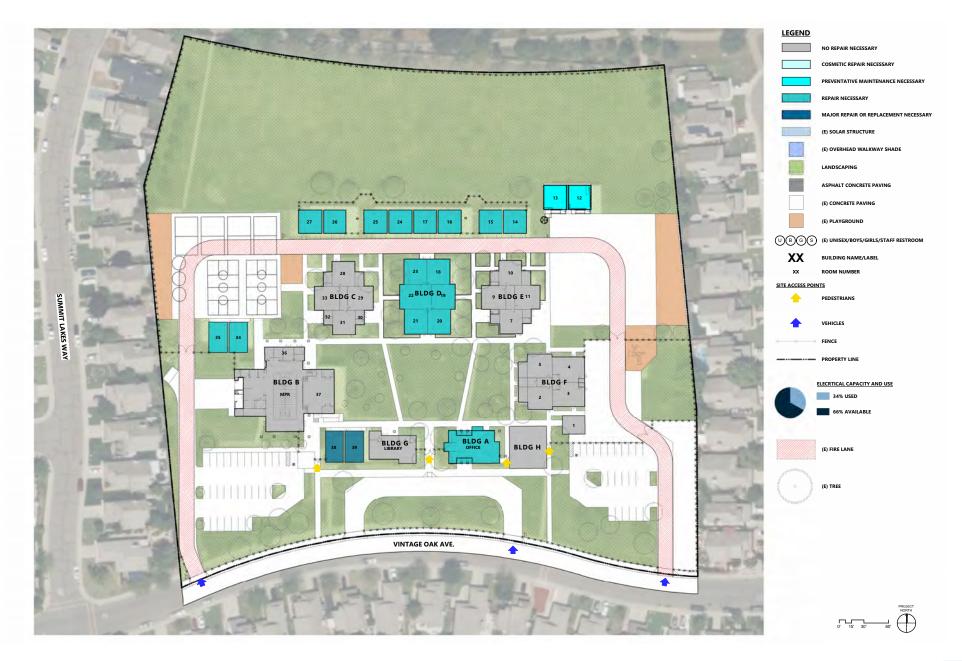


large gaps and cracks appearing on concrete



large gaps and cracks appearing on concrete

# ASSESSMENT SITE PLAN



# FACILITY ASSESSMENT DATA SCORING SHEETS

This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

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ure the safety	of the students, staff, and community. The a	architect will report any findings of this r	nature to the district.							_	+	₩				2= 3=			pair necess e maintenar	ary nce necessa	ry									6-10 11-15
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																6=					continued u	se								26+
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING F	IDNITIED	WALL	FLOOR	WALLS	CEILING	CASEIMY	FIXTURES	ACOUS	EXT PAINT	PICNACE	HVAC	AESTH.	SUM	PRIORITY
F			#52543	1992	32	MOD 5	HAZ.	SIRUCI.	FLS	2	EXT BLUG	SITE	2	2	2	1	OKNITOKE	FINISHES	FLOOR	WALLS	CEILING	CASEVIK	FIXTORES	ACOUS	EXT PAINT	SIGIVAGE	HVAC	AESTH.	-	FACTOR
F	Room 1 Girls Restroom	Sped ED O.T	#52543	1992	32	5				2	1	1	2	2	-	2	1	1	3	2	3	-	3	1	1	4	3	3	40	4.0
F	Janitor		#52543	1992	32	5				2	1	1	2	2	-	2	1	1	2	2	2	2	2	1	1	4	3	3	35 34	3.5
F	Boys Restroom		#52543	1992	32	5				2	1	1	2	2	-	2	1	3	3	4	2	-	6	1	1	4	3	3	41	4.1
F	Room 2	ELO	#52543	1992	32	5				2	1	1	2	2	2	1	1	2	3	3	4	4	2	1	1	4	3	3	42	4.2
F	Work Room	POD	#52543	1992	32	5				2	1	1	2	2	2	1	1	2	2	3	3	2	2	1	1	4	3	3	38	3.8
F	Storage		#52543	1992	32	5				2	1	1	2	2	-	2	1	2	2	3	3	2	2	1	1	4	3	3	37	3.7
F	Room 5	TOSA	#52543	1992	32	5		<u> </u>		2	1	1	2	2	2	1	1	2	4	3	3	3	2	1	1	4	3	3	41	4.1
F	Work Room	KPOD	#52543	1992	32	5				2	1	1	2	2	2	1	1	2	4	3	3	3	3	1	1	4	3	3	42	4.2
F	Room 4 4 RR	Kinder 4 RR	#52543 #52543	1992	32 32	5				2	1	1	2	2	2	1	1	2	3	3	2	3	2	1	1	4	3	3	39	3.9
F	Room 3	4 KR Kinder	#52543 #52543	1992	32	5				2	1	1	2	2	2	2	1	2	3	3	2	3	2	1	1	4	3	3	34 40	3.4 4.0
F	Unisex Restroom	3 RR	#52543	1992	32	5				2	1	1	2	2	-	1	1	1	2	2	2	-	2	1	1	4	3	3	31	3.1
F	Unisex Restroom		#52543	1992	32	5				2	1	1	2	2	-	2	1	1	2	2	2	-	2	1	1	4	3	3	32	3.2
F	Electrical		#52543	1992	32	5				2	1	1	2	2	-	2	2	1	4	2	2	-	3	1	1	4	3	3	36	3.6
E	Boys RR		#52543	1992	32	5				2	1	3	3	2	-	2	1	2	3	3	2	-	3	3	1	4	3	3	41	4.1
Е	Room 10	Sped Ed	#52543	1992	32	5				2	1	2	2	2	2	1	1	2	4	3	3	3	2	2	1	4	3	3	43	4.3
E	POD		#52543	1992	32	5				2	1	1	2	2	2	2	1	2	3	3	3	3	3	2	1	4	3	3	43	4.3
E E	Room 11 Room 7	Sped Ed Sped Ed	#52543 #52543	1992 1992	32	5				2	1	1	3	2	2	2	2	2	4	3	4	3	2	2	1	4	3	3	47	4.7
F	Room 6	Speech	#52543	1992	32	5				2	1	1	3	2	-	3	1	2	4	3	1	-	2	2	1	4	3	3	48 38	4.8
E	Water Heater	7,	#52543	1992	32	5				2	1	1	2	2	-	3	1	2	6	3	2	-	2	2	1	4	3	3	40	4.0
E	Room 8		#52543	1992	32	5				2	1	1	2	2	-	3	-	6	2	2	2	-	4	2	1	4	3	3	40	4.0
Е	AGRR 1	3rd Grade	#52543	1992	32	5				2	1	1	2	2	-	2	1	2	2	3	3	-	3	2	1	4	3	3	37	3.7
Е	Room 9	3rd Grade	#52543	1992	32	5				2	1	1	2	2	4	2	1	2	4	3	4	3	3	2	1	4	3	3	47	4.7
E	ELEC		#52543	1992	32	5				2	1	1	2	2	-	2	-	2	2	3	4	-	4	4	1	4	3	3	40	4.0
E	Girls RR		#52543	1992	32	5				2	1	3	2	2	-	3	1	3	3	4	2	-	3	3	1	4	3	3	43	4.3
P14	Room 12	Curriculum	#02-110108	2008	15	15					3	2	2	1	2	2	1	2	2	2	2	-	6	2	2	4	1	2		
P13	Room 13	las	#02-110108	2008	15	15				3	1	1	2	1	2	2	1	3	4	3 4	2	3	2	2	2	4	1	3	50 44	15.0
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P8	Room 14	3rd Grade	#61685	1994	29	29				3	1	2	2	2	2	3	1	2	2	3	2	2	2	2	2	4	4	3	44	25.5
P7	Room 15	2nd Grade	#61685	1994	29	29				3	1	2	2	2	2	2	1	3	4	4	4	3	2	2	2	4	3	3	49	28.4
	-																-													
P4	Room 16	3rd Grade	#60064	1993	30	30				3	1	2	2	1	2	2	1	2	2	3	2	3	2	2	2	4	5	3	44	26.4
P3	Room 17	6th Grade	#60064	1993	30	30				3	1	2	2	4	2	2	1	2	2	3	2	3	2	2	2	4	6	3	48	28.8
P2 P1	Room 24 Room 25	6th Grade 6th Grade	#60064 #60064	1993 1993	30	30 30				3	1	2	2	1	2	2	1	2	4	3	2	3	2	2	2	4	4	3	45	27.0
PI	Room 25	our Grade	#60064	1993	30	30					<del>-</del>	- 2	2	'	3	'	- '	2	3	3	2	3	-	2	2	4	'	3	39	23.4
D	Room 18	1st Grade	#52543	1992	32	32				2	1	1	2	3	2	1	1	2	3	3	2	3	2	2	2	4	3	3	42	26.9
D	Room 19	2nd Grade	#52543	1992	32	32				2	1	1	4	3	2	1	1	1	2	2	2	2	2	2	2	4	4	3	41	26.2
D	IMC		#54806	1992	32	32				2	1	1	2	3	-	1	1	2	2	3	2	-	2	2	2	4		3	33	21.1
D	Room 20	1st Grade	#54806	1992	32	32				2	2	1	2	3	2	3	1	1	2	2	2	2	2	2	2	4	4	3	42	26.9
D	Room 21	2nd Grade	#54806	1992	32	32				2	1	1	2	3	2	1	1	1	3	2	3	2	2	2	2	4	4	3	41	26.2
D	Room 22	1st Grade	#52543	1992	32	32				2	1	1	2	3	2	3	1	2	3	3	2	3	2	2	2	4	3	3	44	28.2
D	Room 23	2nd Grade	#52543	1992	32	32	ļ			2	1	2	2	3	2	1	1	2	3	3	3	3	2	2	2	4	3	3	44	28.2
De	D 20	Eth Condo	#20024	4002	20	20	ļ			—	-	-	0	0	4	-	1	0	0	2	0	-	0	0	0				-	
P6 P5	Room 26 Room 27	5th Grade Sped Ed	#60064 #52543	1993 1992	30 32	30 32	<b>.</b>	1		├─	2	2	2	2	2	2	1	2	2	3	2	3	2	2	2	4	1	3	42 40	25.2 25.6
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С	Girls Restroom		#52543	1992	32	5				2	1	1	3	3	-	2	1	3	3	4	2	-	3	3	1	3	3	3	41	4.1
С	Electrical Room		#52543	1992	32	5				2	1	1	3	3	-	2	-	2	2	3	2	-	3	3	1	3	3	3	37	3.7
٠,	Room 28	4th Grade	#52543	1992	32	5				3	1	2	3	3	2	1	1	- 1	3	2	2	4	2	2	1	3	3	3	42	4.2

# FACILITY ASSESSMENT DATA SCORING SHEETS

t				+					,		_						_							_			
С	Boys Restroom		#52543	1992	32	5				2	1	1	4	3	-	2 2	3	3	4	3 -	4	3	1	3	3		45 4.5
С	IMC	POD	#52543	1992	32	5				2		1	3	3	2	2 1	2	3	3	3 2	2	2	1	3	3		42 4.2
С	Room 29	5th Grade	#52543	1992	32	5				2		1	2	3	2	2 1	1	3	2	3 3	3	3	1	3	3		42 4.2
С	Janitor		#52543	1992	32	5				2	1	1	3	3	-	2 -	2	4	3	3 -	3	2	1	3	3	3	39 3.9
С	Room 30	Speech	#52543	1992	32	5				2	1	1	2	3	-	2 1	1	3	2	2 -	2	2	1	3	3	3	34 3.4
С	Room 31	4th Grade	#52543	1992	32	5				2	- 1	1	2	3	2	3 1	2	3	3	4 3	2	2	1	3	3		44 4.4
С	Unisex Restroom		#52543	1992	32	5				2	1	1	2	3	-	1 2	1	2	2	2 -	3	3	1	3	3		35 3.5
С	Room 32	Psychologist	#52543	1992	32	5				2	1	2	3	3	-	1 1	1	2	2	2 -	2	2	1	3	3		34 3.4
С	Room 33	4th Grade	#52543	1992	32	5				2	1	2	2	3	-	2 1	1	3	2	3 4	2	3	1	3	3		41 4.1
P10	P - Room 34	RSP SP. ED	#63424	1995	28	28			1	2	2	2	2	2	2	1 1	2	2	3	2 3	2	2	2	2	6	3	43 24.1
P9	P - Room 35	Social Worker	#63424	1995	28	28				2	2	2	2	2	2	1 1	2	2	3	4 3	2	2	2	2	3		42 23.5
P11	P - Room 38	ELO	#63424	1995	28	28	1		1		2	1	2	2	2	1 1	2	4	3	2 2		2	2	1	1		35 19.6
P12	P - Room 39	Conference	#63424	1995	28	28	1				1	1	2	2	2	1 1	2	2	2	3 4	2	2	1	1	1		
P1Z	P - R00III 39	Conterence	#63424	1995	20	20	1			1		'	2	- 2	3	' '	2	2	3	3 4	2	2	'	'	'	3	35 19.6
Α.	Recpetion		#52543	1992	32	32	1				1	2	2	-	2	1 1	2	2		1 3	2	2	1	1		2	
	Work Room/Break Room		#52543	1992	32	32	1		-	-	1	2		3	2	1 1	3	2	4		2	2	1	1	6		39 25.0
A			#52543 #52543				1		-	-			2	3			2	2	3	2 3		3			6		39 25.0
A	Nurse			1992	32	32	1				1	2	2	3	2	1 1	2	3	3	4 3	2	2	1	1			41 26.2
A	Nurse Restroom		#52543	1992	32	32					1	2	2	3	-	1 1	2	2	3	2 -	3	2	1	1	6		34 21.8
A	Restroom Corridor		#52543	1992	32	32	1			1	1	2	2	3	-	1 1	1	2	2	2 -	2	2	1	1	6		31 19.8
A	Mens Restroom		#52543	1992	32	32	1			1	1	2	2	3	-	1 1	2	2	3	1 -	3	2	1	1	6		33 21.1
Α	Womans Restroom		#52543	1992	32	32					1	2	2	3	-	1 1	1	2	2	1 -	3	2	1	1	6		31 19.8
A	Storage		#52543	1992	32	32				ш_	1	2	2	3	-	1 1	2	2	3	1 -	2	2	1	1	6		32 20.5
A	Assitant Principal		#52543	1992	32	32			1		1	2	2	3	2	1 1	1	2	2	1 -	1	2	1	1	6	2	31 19.8
Α	Secretary		#52543	1992	32	32					1	2	2	3	2	1 1	1	2	2	1 -	1	2	1	1	6	2	31 19.8
A	Principal		#52543	1992	32	32					1	2	2	3	2	1 1	1	2	2	1 -	1	2	1	1	6		31 19.8
A	Electrical		#52543	1992	32	32					1	2	2	3	-	1 -	1	3	2	3 -	2	3	1	1	6		33 21.1
G	BFLC/Library		#02-117054	2018	5	5					1	1	2	2	3	1 1	2	2	3	3 3	2	2	1	1	6	3	39
G	Storage		#52543	1992	32	5			1		1	1	2	2	-	2 1	2	2	3	3 -	2	1	1	1	6	2	32 3.2
G	Office	Break Room	#52543	1992	32	5					1	1	2	2	-	1 1	1	2	2	2 2	2	1	1	1	6		
G	Work Room	Dreak recom	#52543	1992	32	5	1				1	1	2	2	2	1 1	2	3	3	4	2	1	1	1	6		
G	Unisex Restroom		#52543	1992	32	5	1				1	1	2	2	-	2 1	2	2	3	2 -	2	1	1	1	6		
	CHINA NEBROOM		#JZJ4J	1002	JE	,	1	<b>-</b>	+	1		+ '-	2		<u> </u>				-3		-	<u>'</u>	<del>- '</del> -	+ '		-	31 3.1
В	MPR		#02-117054	2018	5	5	1	<b>-</b>	+	1	1			2		3 1	1	2	2	2 3	2	1	1	1	2	2	
В	MPR BRR			2018 1992	32	5	<del>                                     </del>	1	1	1	1	1	3	2	-	2 1	2	2	2	1 -	2	1	1	1	3		32 3.2
			#54806				1	1	1	1			3		-			3	3	,					3		30 3.0
В	GRR		#54806	1992	32	5	1	-	1	1	1	1	3	2	-	1 1	2	3	3	2 -	2	1	1	1	3		30 3.0
В	Kitchen		#54806	1992	32	5	1	L		1	1	1	3	2	-	2 1	2	4	3	2 -	3	1	1	1	6		36 3.6
В	Kitchen Office		#54806	1992	32	5			1		1	2	2	2	-	2 1	1	4	2	1 -	2	1	1	1	6		32 3.2
В	Kitchen Rest Room		#54806	1992	32	5					1	2	2	2	-	1 1	2	4	3	2 -	2	1	1	1	6		34 3.4
В	Kitchen Storage		#54806	1992	32	5					1	2	2	2	-	2 1	2	4	3	1 4	2	1	1	1	6	3	38 3.8
В	Storage		#54806	1992	32	5					1	1	2	2		1 1	3	2	4	2 -	2	1	1	1	6		33 3.3
В	PE Closet		#54806	1992	32	5	$\perp$		$\perp \!\!\! \perp$	L	1	1	2	2	-	3 1	1	4	2	1 -	2	1	1	1	6		32 3.2
В	Storage		#54806	1992	32	5					1	1	2	2	-	2 1	2	6	3	2 -	2	1	1	1	6		36 3.6
В	Storage 2		#54806	1992	32	5					1	1	2	2	-	2 1	2	3	3	3 4	4	1	1	1	6		40 4.0
В	Electrical		#54806	1992	32	5					1	1	2	2	-	2 1	2	3	3	2 -	2	1	1	1	6		33 3.3
В	Stage/Backstage		#54806	1992	32	5	1			T .	1	1	2	2	-	2 1	2	3	3	3 -	3	1	1	1	3		32 3.2
В	Fire Riser Room		#54806	1992	32	5	<b>†</b>			1	1	1	2	2	-	1 1	1	2	2	1 -	2		1	1	3		24 2.4
В	Storage		#54806	1992	32	5	1		1	t	1	1	3	2	-	1 1	1	2	2	2 2			1	1	3		28 2.8
В	Temp Office		#54806	1992	32	5	1	1	1	<del>                                     </del>	1	1	2	2	-	1 1	2	1	2	1		1	1	1	3		28 2.8
В	W.H.		#54806	1992	32	5	+	-	1	1	1	1	2	2	-	1 1	2	1	2	1 0	0	1	1	1	3		22 2.2
В	Music Storage		#54806	1992	32	5	+	-	1	1	1	1	2	2		1 1	2	1	2	1 0	0	1	1	1	3		
	music Storage		,,,,4000	1002	JŁ		1	1	1	<del>                                     </del>	+ -	+ '-	2		<u> </u>	<del>                                     </del>		<del>- '-</del>	-	. 0		-	<del>- '-</del>			-	22 2.2
		REPAIRS	<del> </del>	1	-		1	<u> </u>	1	+		1	-	<b> </b>			+		-			1	<del> </del>	1	+		
Mar. 107	Deletine 5		1	-	-		+	1	1	+		-		-	-	<del>                                     </del>	-		-	<b></b>	-	-	-	-	+-+		_
Misc. / Site	Drinking Fountains	By Room 10		+	00	<u> </u>	1		1	+	-	-		-	-	<del>                                     </del>	1	-	<b>-</b>			+	-	<b>!</b>	+		+
Misc. / Site	Parking Lots	Asphalt Slurry	1	1	2022		1		1	1	-	2	-	-	-	-	-	-	-		-	-	-	1	-		4
Misc. / Site	Primary Playground	Asphalt Slurry		1	2017		1	1	1	1	1	2	-	-	-	-	1 -	-	-			-	-	-	-		4
Misc. / Site	Intermediate Playground	Asphalt Slurry			2017					1	1	1	-	-	-	-	-	-	-		-	-	-	-	-		3
Misc. / Site	Kinder Playground	Asphalt Slurry			2017					1	1	1	-	-	-	-	-	-	-		-	-	-	-	-	-	3
Misc. / Site	Exterior Painting				2020				1	-	1	-	-	-	-	-	-	-	-		-	-	-	-	-	-	1
Misc. / Site	Roofing				2020		1			-	-	-	-	2	-	-	-	-	-		-	-	-	-	-	-	2
Misc. / Site	Fire & Intrusion System		02-116659	2018	5					<u>_</u>	-	-	-	-	-		-		-		-	-	-	-	-	-	0
Misc. / Site	Refrigerator and Freezer				2022-2023		$\perp$		$\perp \!\!\! \perp$	1	1	2			-	-	-	1	1	1 -	-	-	-			-	7
Misc. / Site	New Intercom and Master Clock System				2022	1				-	-	-	-	-	-	-	-	-	-		-	-	-	-	-		0
Misc. / Site	Cement Repairs	Ongoing								-	-	2	-	-	-	-	-	-	-		-	-	-	-	-		2
Notes:	Room 8 had mats on walls. Now removed &	therapist office has many holes on the	he walls.						1								1				1					$\neg \uparrow$	
	Replace portables with permenate buildings Drop off/parking	, 15 portables.							1	t		1					1						t				
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	playground equipt to old - primary bars Portables 3rd - 6th 2 Special Ed classes ne	ed undate/replacement						1	1	<del>                                     </del>	-	1	-	l	l		1	1	l			1	f	1	+ +		
	Need performing arts space (stage, lighting	etc.)					1			1																	
	Need dedicated music room Need space in Admin Bldg. for private meeti						1			1		1		l	l				l				1				
	Need calming room						1	1		1		1		l	l				l				1	1			
							1	1		1		1		l	l				l				1	1			
							•			•												-		1			

## **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

This campus has an even distribution of classroom to grades. Currently, 3rd grade classes are spread across permanent and portable buildings, while all of 6th grade is utilizing portable classrooms. There are numerous classrooms being shared for numerous uses (i.e. specialty staff, curriculum storage, PE). This site has only one dedicated classroom for the special education program.

# EXISTING UTILIZATION SITE PLAN



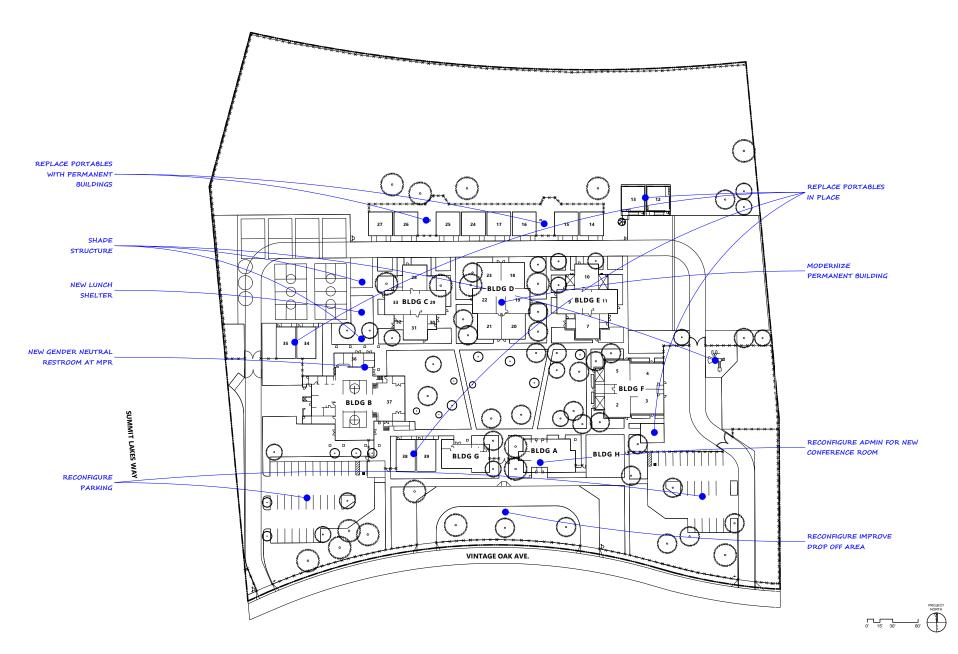
SUMMIT LAKES WAY

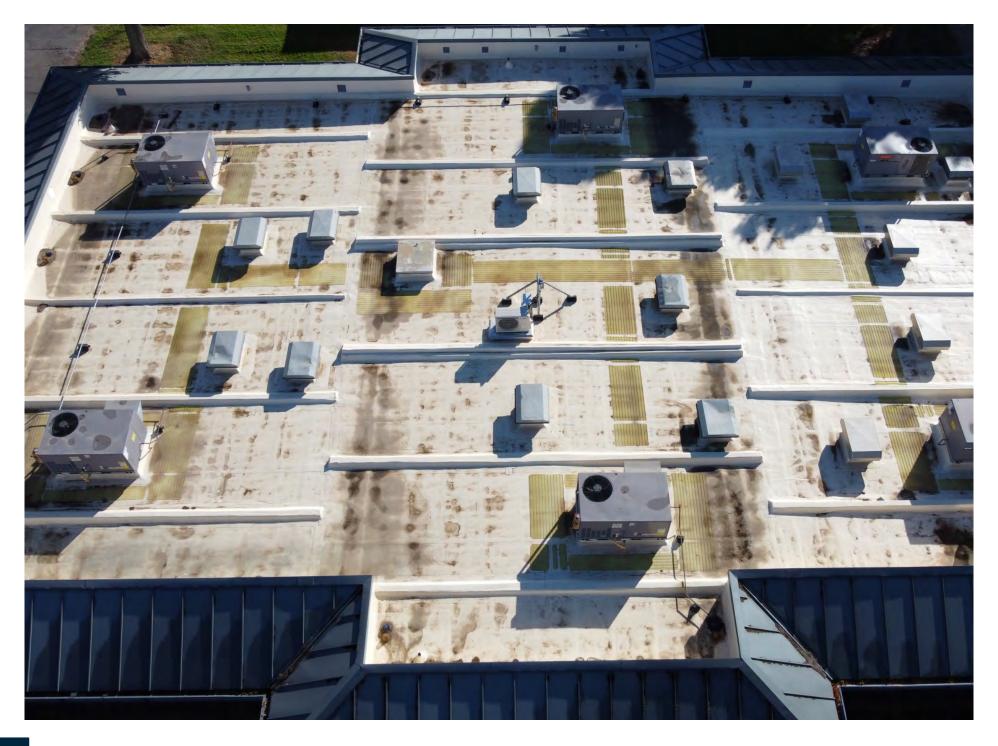






# STAKEHOLDER INPUT





# MAINTENANCE PROJECTS

#### **BUILDING C**

- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years

#### **BUILDING D + TRAILER**

- Minor touch-up of floors recommended in next 10-15 years
- HVAC System replacement recommended in next 1-5 years

#### **BUILDING E**

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years

#### **BUILDING F**

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- HVAC System replacement recommended within next year

#### **BUILDING H**

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- Aging casework, replacement recommended within next 5 years
- HVAC System replacement recommended within next year

#### **BUILDING A**

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- HVAC System replacement recommended in next 1-5 years

### **BUILDING B**

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended in next 10-15 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

#### **BUILDING L**

General repair and maintenance of ceilings in next 5-7 years



















### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | RIVER OAKS ELEMENTARY SCHOOL

# ONE WAY TO ADDRESS THE NEEDS

The River Oaks Elementary School campus would benefit from several projects to improve staff and student safety and wellness and daily operation. During early meetings with the steering committee, campus leadership expressed the present hazards caused by current traffic flow at the existing parking lots and drop-off zones. It is recommended that the site undergo a reconfiguration and expansion of these vehicular areas, to accommodate for growing need for additional staff and visitor parking and relieve traffic flow.

Another project proposed is the adadition of metal shade structures at the reconfigured pick-up/drop-off area, the existing lunch area north of the Multi-Purpose Room, and the two existing play structures. The portable campus buildings are aging and would benefit from replacement. This conceptual plan proposes the replacement of the eight portable classrooms at the north of campus with two permanent classroom buildings. These buildings would be of like construction to the existing classroom buildings and accommodate eight total classrooms, single user restrooms, and teacher prep space.

It is also recommended that the remaining portable classroom buildings be replaced in-kind at their existing locations. Building D was identified as a candidate for building modernization. This would include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures to improve functionality and aesthetic quality of the space. Other projects identified are the addition of a gender-neutral restroom in the campus's Multi-Purpose Room, and the reconfiguration of the campus's Admin building to include a conference room to satisfy the users' current need for confidential small-group meeting space.

# PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

### PARKING LOT RECONFIGURATION

• Improvements and expansion of existing parking lot and drop-off areas to allow for more staff and visitor parking while improving efficiency of traffic circulation. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$2,823,000

### **CAMPUS SHADE STRUCTURES**

 Provide new metal shade structures at existing playrounds, outdoor lunch seating area, and student drop-off/pick-up areas.

OPINION OF PROBABLE COST: \$1,084,900

### **ADMIN BUILDING RECONFIGURATION**

 Project includes the demising of a new conference room within the existing campus administration building. Conference room to be equipped with power, data, and audio/visual infrastructure to support modern operation.

OPINION OF PROBABLE COST: \$421,100

# **BUILDING MODERNIZATION**

Modernization of existing permanent classroom Building D to include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures.

OPINION OF PROBABLE COST: \$3,443,000

### **NEW CLASSROOM BUILDINGS**

• Addition of new classroom buildings of permanent construction to be located at the north of campus. Two (2) new permanent buildings would house eight (8) total individual classrooms to replace the existing relocatable classrooms: 14, 15, 16, 17, 24, 25, 26, & 27. Project scope would include associated sitework and landscaping.

OPINION OF PROBABLE COST: \$19,456,400

### PORTABLE CLASSROOM REPLACEMENT

• In-kind replacement of the campus's aging relocatable classrooms: rooms 12, 13, 34, 35, 38 & 39.

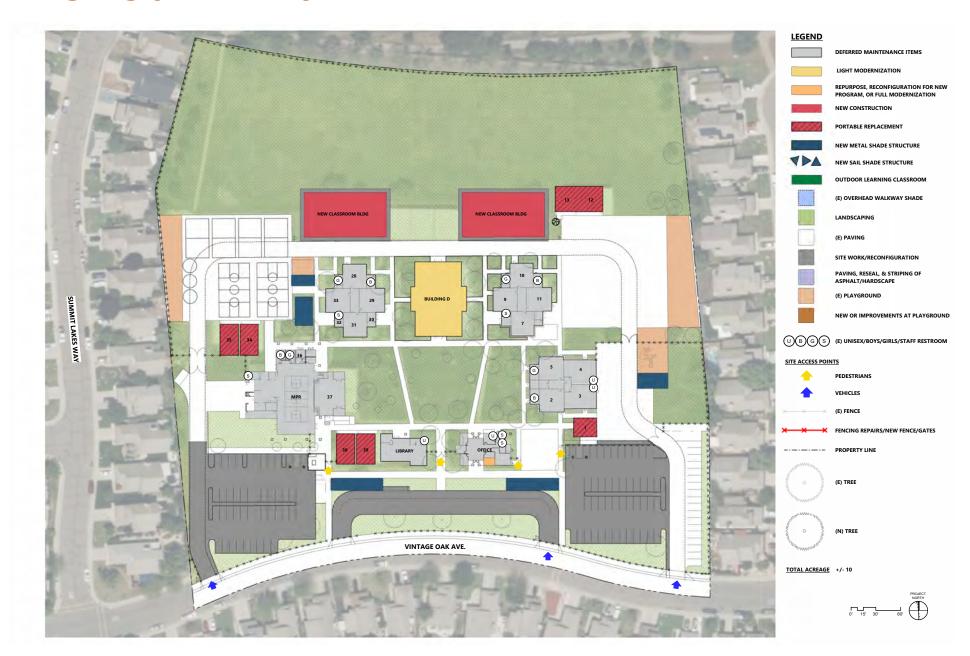
OPINION OF PROBABLE COST: \$8,148,800

### **GENDER-NEUTRAL RESTROOM**

• Provide a single-user gender-neutral restroom at the Multi-Purpose Room.

OPINION OF PROBABLE COST: \$85,900

# PROPOSED MASTER PLAN













### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | RIVER OAKS ELEMENTARY SCHOOL

# CONCLUSION

River Oaks Elementary School is a candidate for several improvement projects aimed at enhancing its learning environments, roadways, outdoor spaces, and daily operations of students and staff. Concerns over traffic flow and safety hazards prompted recommendations for reconfiguring and expanding the existing parking lots and dropoff zones.

Additionally, plans include installing shade structures at key areas such as the pick-up zone, lunch area, and existing play structures to provide relief from sun exposure. The aging portable classrooms at the north of site present an opportunity for replacement with two permanent classroom buildings, while the remaining portable classrooms throughout the campus are recommended to be replaced in-kind to allow for future flexibility as the campus needs fluctuate.

Further enhancements include the addition of a gender-neutral restroom in the existing Multi-Purpose Room and reconfiguring the Admin building to include a conference room, addressing the need for confidential small-group meetings. These projects collectively aim to create a safer, more functional, and conducive learning environment at River Oaks Elementary School.





# VALLEY OAKS ELEMENTARY



# SCHOOL DATA

21 C Street, Galt, CA 95932







Year Built:	1968, 1975 - 1986
Modernizations and Campus Additions:	2018, 2019, 2024
Acreage :	10.4 Acres

Current Enrollment: 514

	K-3RD	13
	4TH-6TH	6
	Special Ed	4
Total Classroom Spaces:	ELOP	6
	Additional	5
	Total	34

# SITE AERIAL



# SCHOOL SITE DESCRIPTION

### SITE

The Valley Oaks Elementary School campus is located at 21 C Street, Galt, CA. The campus is bounded to the south by C Street, to the west, north and east by private residences. The site is relatively square, sitting on a 10.4-acre site. The school's campus is comprised of seven permanent buildings, which are located approximately at the south end spreading to the east and west of the site. There are 19 portable classroom buildings spread throughout the site. The arrangement for the permanent buildings is centralized around paved and landscaped quad areas. The seven buildings house the school's library, administrative and support spaces, multipurpose room, kindergarten through sixth grade classrooms. The campus's portable classroom buildings, houses overflow kindergarten through fourth grade, music, and support spaces. The portable buildings are spread throughout the site and between the seven permanent buildings. North of the campus buildings are the school's blacktop play areas, playground structures, and irrigated recreation field. The kindergarten building has a dedicated outdoor space and play structure. There are two parking lots with both entrances and exits along C Street. The eastern parking lot is next to the multi-purpose building and has a bus drop off, staff and visitor parking with four spaces that are currently designated by the campus for ADA use. There is paved pedestrian egress between the staff and visitor parking lot and the school's main entrance. The path is defined by signage, pavement striping, a curb cut, a sidewalk ramp and a sidewalk. The western parking lot is to the west of the administrative building and is used for staff and visitor parking.

### BUILDINGS

Valley Oaks Elementary School was originally constructed in 1968 with buildings A, B, and C, with buildings D, E, and F completed in 1977 with subsequent alterations completed since its construction. Classroom Building G, fifth and sixth grade was constructed in 2023. Generally, the construction of the original school buildings consists of wood framing, metal framed single-pane windows, exterior stucco with brick-cladding, wood siding, wood trim, and concrete slab flooring. The building materials for the portable classroom Buildings include plywood siding and wood trim, metal framed single-pane windows, buildings are set on concrete and AC paving with metal and wood ramps. All the campus' buildings are stand-alone and not connected by covered walkway. The roofs on the permanent buildings appeared, at the time of the assessment, to be in acceptable condition. It is recommended that select HVAC roof top units be considered for immediate repair for continued use and the remaining units be considered for continued preventative maintenance. The majority of portable classroom buildings' roofs appeared to be in good condition and did not appear to warrant repair at the time of assessment. It is recommended that portable classroom buildings 22, 23, 24, and 25 be considered for immediate replacement. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. Student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements.

### **PROGRAM SPACES**

Modernized and expanded instructional and support spaces are required throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, shade structures, enlarge and reconfigure administration building to add additional offices and conference room, reconfigure library conference room to gain two offices, add gender neutral student restroom, reconfigure parking, etc. Staff and community at this campus have expressed the desire for additional/supplemental program spaces as well as the modernization of existing facilities.



Damage to ceiling tiles



Drinking fountains are broken/damaged



Cracks/damage to wheelchair ramps



Casework is damaged in classrooms



Old walkways are cracked and unleveled

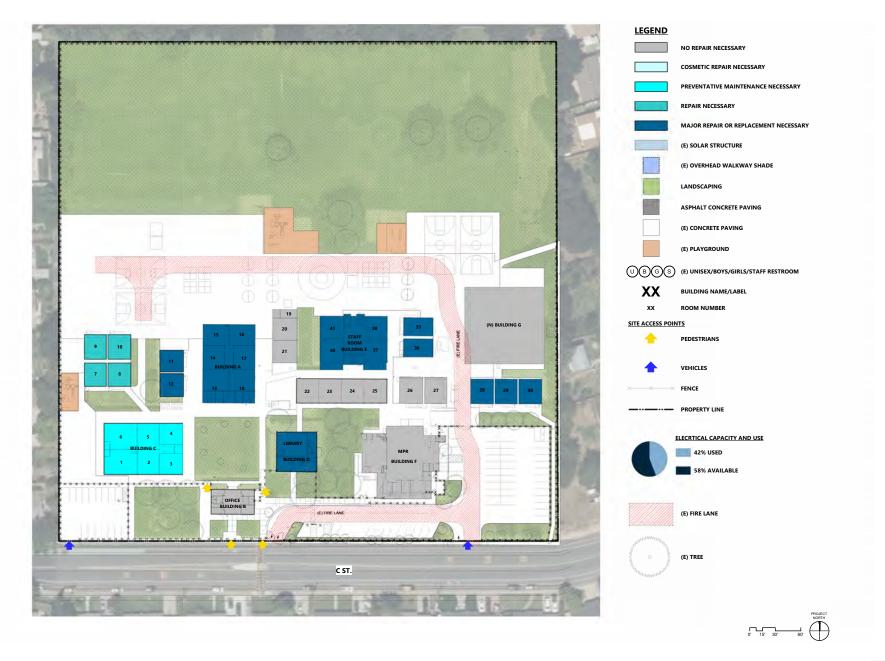


Drinking fountain area damaged



Exterior wall breaking away

# ASSESSMENT SITE PLAN



# FACILITY ASSESSMENT DATA SCORING SHEETS

This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

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															4=		preventative repair nece	ssary										=	16-20
															6=		major repai	r needed fo	e past 2 year r immediate	continued	use								21-25 26+
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE	HAZ	STRUCT. FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING F	URNITURE	WALL	FLOOR	WALLS	CEILING	CASEWK	FIXTURE	s acous	EXT PAINT	SIGNAGE	HVAC	AESTH.	SUM	PRIORITY FACTOR
С	Room 1	Kindergarten	#26684	1968	56	MOD 19			5	1	1	2	1	3	2	1	FINISHES 2	3	3	2	3	3	2	1	4	3	3	45	FACTOR 17:1
С	Room 2	1st Grade	#26684	1968	56	19			3	1	1	3	1	3	1	1	2	2	3	2	3	2	2	1	4	3	3	41	15.6
С	Room 3	1st Grade	#26684	1968	56	19			3	1	1	2	1	3	1	1	2	3	3	3	4	2	2	- 1	4	3	3	43	16.3
C	Pod Room 4	1st Grade	#26684 #26684	1968 1968	56 56	19 19			3	1	1	2	1	3	2	1	2	3	3	3	4	2	2	1	4	3	3	44 38	16.7
С	Room 4	1st Grade	#26684	1968	56	19			3	1	1	2	1	3	2	1	2	2	3	2	4	2	2	1	4	3	3	42	14.4
C	Room 6	Kindergarten	#26684	1968	56	19			5	1	1	2	1	3	2	1	2	3	3	2	4	3	2	1	4	3	3	46	17.5
С	Room 6 RR		#26684	1968	56	19			5	1	3	2	1	-	1	1	1	3	2	2	-	3	2	- 1	4	3	3	38	14.4
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RM7 RM8	Room 7 Room 8	Kindergarten Kindergarten	#67997 #67997	1997 1997	26 26	26 26	<b>!</b>		3	1	1	2	1	2	1	1	2	3	3	2	1 2	2	2	1	4	1	3	36 39	18.7
RM9	Room 9	Kindergarten  Counselor Room	#65169	1997	26	26	<del>                                     </del>		5	1	1	3	1	2	2	1	2	3	3	2	2	3	2	1	4	4	3	45	20.3
RM10	Room 10	SDC Room	#65169	1996	27	27			5	1	1	2	1	2	1	1	2	3	3	3	2	2	2	1	4	4	3	43	23.2
RM11	Room 11	IA's Work Room	#49231	1987	36	36	<u> </u>		5	1	1	3	1	2	1	1	2	2	3	2	2	2	2	1	4	- 1	3	39	28.1
RM12	Room 12	Music	#49231	1987	36	36	1		- 5	1	1	2	1	2	2	1	2	3	3	2	2	2	2	1	4	1	3	40	28.8
A	Girls Restroom	Work Room	#02-106028	2004	19	19			3	1	2	3	1	3	2	1	2	3	3	3	-	3	3	1	4	3	3	44	16.7
A	Mech Room	Electrical	#26684	1968	56	56			3	1	2	3	1	-	1	-	3	2	4	2	-	-	2	1	4	3		32	35.8
A	General Storage	Storage	#26684	1968	56	56			3	1	2	2	1		2	-	3	3	4	3	3	3	2	1	4	3	3	43	48.2
A	Janitor	Custodian	#26684	1968	56	56			3	1	2	3	1	-	1	2	3	3	4	3	-	3	3	1	4	3	3	43	48.2
A A	Boy Restroom Room 13		#26684 #26684	1968 1968	56 56	56 56	-		3	1	2	2	1	2	2	1	3	4	4	3	-	4	2	1	4	3	4	48 43	53.8
A	Pod		#26684	1968	56	56			3	1	2	3	1	3	2	1	2	2	3	3	4	-	2	1	4	3	3	43	48.2
A	Room 14	PE/Moisture Issue	#26684	1968	56	56			3	1	2	3	1	3	1	1	1	3	2	2	3	2	2	1	4	3	3	41	45.9
A	Room 15	Learning Center	#26684	1968	56	56			3	1	2	3	1	4	1	1	2	4	3	3	4	2	2	1	4	3	3	47	52.6
A	Room 16	2nd Grade	#26684	1968	56	56	<u> </u>		4	1	2	3	1	4	2	1	2	2	3	3	4	3	2	1	4	3	3	48	53.8
A	Room 17 Room 18	2nd Grade 2nd Grade	#26684 #26684	1968 1968	56 56	56 56			4	1	2	3	1	4	1 1	1	2	3	3	3	4	2	2	1	4	3	3	47 46	52.6 51.5
^	Kooiii io	210 Grade	#20004	1500	30	36			-		2	3		,			2	3	3	J	3	- 2	2	-	-	3	3	40	51.5
RM 20	Room 20/21	Speech	#37677	1974	49	49			4	2	2	3	2	4	3	1	3	4	4	3	4	3	1	2	4	4	4	57	55.9
RM 20	Room 20 office	Speech/RSP	#37677	1974	49	49			4	2	2	3	2	4	3	1	3	3	4	4	-	4	1	2	4	4	4	54	52.9
PMOD	D 00	3rd Grade	#38178	NOT AVAIL	-1-	-1-				2	2	2			2		2	_						2			0	54	<del>                                     </del>
RM22 RM23	Room 22 Room 23	3rd Grade	#38178 #38178	NOT AVAIL	n/a n/a	n/a n/a	-		4	2	2	3	1	3	2	1	2	2	3	3	2	2	3	2	4	1	3	45	ı —
RM24	Room 24	3rd Grade	#38178	NOT AVAIL	n/a	n/a			4	2	2	3	1	4	2	1	2	3	3	4	3	3	3	2	4	6	3	55	
RM25	Room 25	Construction Office	#38178	NOT AVAIL	n/a	n/a			4	2	2	3	1	4	2		3	3	4	4	3	3	3	2	4	4	3	54	
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RM26 RM27	Room 26 Room 27	5th Grade 5th Grade	#45194	1983 1983	40	40	<b>!</b>		4	1	1 1	3	1	3	1	1	2	2	3	3	2	2	3	1	4	1	2	41	32.8
DWZ/	Nooffi 27	our Grade	##D194	1803	40	40	<u> </u>		-4	-	-	3	-	-3	-		-	- 3	-	3	2		3	-	-	3	2	38	30.4
RM28	Room 28	6th Grade	#45194	1983	40	40	l		4	1	2	3	1	4	1	1	3	3	4	4	3	3	3	1	4	1	3	49	39.2
RM29	Room 29	6th Grade	#52345	1989	34	34			4	1	2	3	1	4	2	1	2	2	3	3	4	3	3	1	4	1	3	47	32.0
RM30	Room 30	6th Grade	#52345	1989	34	34	<u> </u>		4	1	4	3	1	4	1	1	2	3	3	3	3	3	3	1	4	1	3	48	32.6
RM35	Room 35	SDC	#48161	1986	37	37	1		4	1	1	3	2	2	2	1	2	3	3	3	4	3	3	1	4	6	3	51	07.7
RM36	Room 36	Staff Room	#02-106220	2004	19	19	1		1	1	1	2	2	2	1	1	1	2	2	2	3	2	2	1	4	6	2	38	37.7 14.4
							L		L																				
E	Room 37	5th Grade	#40222	1977	46	46			4	1	- 1	3	1	3	1	1	2	4	3	4	3	3	3	1	4	3	3	48	44.2
E	Room 38	4th Grade	#40222	1977	46 46	46 46	1		4	1	1	3	1	3	1 1	1	2	4	3	4	3	3	3	1	4	3	3	48	44.2
E	Room 39 Work Room		#40222 #40222	1977	46 46	46 46	1		4	1	1	4	1	- 3	2	1	1	3	2	4	3	3	2	1	4	3	3	48 44	44.2 40.5
E	Janitor	(Door Name Electrical Main)	#40222	1977	46	46	<b>t</b>			1	1	4	1	-	1	1	3	4	4	4	0	4	3	1	4	3	4	43	40.5 39.6
E	Room 41	4th Grade	#40222	1977	46	46			4	1	1	4	1	4	1	1	2	4	3	4	4	4	3	- 1	4	3	4	53	48.8
E	Room 40	Curriculum	#40222	1977	46	46			4	1	1	4	1	3	2	1	2	3	3	3	3	3	2	1	4	3	3	47	43.2
E	Staff Room	POD	#40222	1977	46	46	<b>!</b>		4	1	1	4	1	6	2	1	2	3	3	3	3	3	4	1	4	3	3	52	47.8
E	Boys Restroom	I	#40222	1977	46	46	I	1 1	3	1	1 1	3	1		2	1	2	3	3	3	-	4	3	1 1	4	3	3	41	37.7

# FACILITY ASSESSMENT DATA SCORING SHEETS

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E	Boys Restroom		#40222	1977	46	46				3	1	1	3	1	-	2	1	2	3	3	3	-	4	3	1	4	3	3	41	37.7
E	Girls Restroom		#40222	1977	46	46				3	1	1	3	1		2	1	2	3	3	2	-	3	3	1	4	3	3	39	35.9
																												1		
В	Admin: Assist Principal Office		#26684	1968	56	46				2	1	1	2	1	3	1	- 1	- 1	2	2	2	-	2	2	1	4	3	2	33	30.4
В	Admin: Main Office	Reception	#26684	1968	56	46				2	1	1	3	1	3	2	1	2	3	3	3	2	3	2	1	4		3	46	42.3
В	Admin: Secretaries Office	Sec	#26684	1968	56	46				2	1	1	2	1	4	2	- 1	2	3	3	2	2	3	2	1	4		3	45	41.4
В	Admin: Nurse Office		#26684	1968	56	46				2	1	1	3	1	3	1	1	2	3	3	3	6	3	2	1	4		4	50	46.0
В	Womens RR		#26684	1968	56	46				2	1	1	2	1	-	1	1	2	4	3	2	-	3	2	- 1	4		3	39	35.9
В	Mens RR		#26684	1968	56	46				2	1	- 1	2	1	-	1	1	2	4	3	2	-	3	2	1	4		3	39	35.9
В	IT SPc		#26684	1968	56	46				2	1	1	3	1	-	1	1	3	4	4	5	6	-	3	- 1	4	6		46	42.3
В	Principal		#26684	1968	56	46				2	1	- 1	3	1	3	2	1	2	3	3	3	2	4	2	1	4	6	3	47	43.2
	-						1																							40.2
F	Multi-Purpose		#02-116648	2018	5	5				2	1	- 1	2	2	-	1	1	1	2	2	2	-	2	3	1	2	3	2	30	3.0
F	Storage	Dry Storage	#40222	1977	46	5				2	1	- 1	2	2		1	-	1	2	2	1	-	2	2	1	2	3	2	27	2.7
F	Janitor	,g.	#40222	1977	46	5	1			2	1	1	2	2		1	-	2	3	3	1	-	2	3	1	2	3	2	31	3.1
F	Girls Restroom		#40222	1977	46	5	1			2	1	- 1	2	2		1	1	1	2	2	1		2	2	1	2	3	2	28	2.8
F	Boys Restroom		#40222	1977	46	5	1			2	- 1	- 1	2	2		1	- 1	- 1	2	2	1		2	3	1	2	3	2	29	
F	Stage		#40222	1977	46	5	1	+		2	1	1	2	2		1	-	1	2	2	2		2	3	1	2	3	2	29	2.9
F	Storage		#40222	1977	46	5	+	+-+		2	1	1	2	2		1		1	2	2	1	- :	2	3	1	2	3	2	28	
F	Storage 2	Storage B	W40222 W40222	1977	46	5	1	+-+		2	1	1	2	2		1		1	2	2	1	1	2	3	1	2	3	2	28	2.8
F	Storage 2 Utility	Storage B W/H Closet	W40222	1977	46	5	1	+-+		2	1	1	4	2			<u> </u>	2	2	3	2	<u> </u>		2	1	2	2	2	31	2.8
F	Kitchen	W/FI Closet	#40222 #40222	1977	46	5	+	+-+		2	1	1	2	2	-	1	1	1	2	2	1	-	2	3	1	2	3	2	31	3.1
							1					_			-		-		3			-		-			3			3.0
F	Kitchen RR		#40222	1977	46	5	-			2	1	1	2	2	-	1	1	1	2	2	2	-	2	2	1	2	3	2	29	2.9
F	Office		#40222	1977	46	5	-			2	1	1	2	2	-	1	1	1	2	2	1	-	2	2	1	2	3	2	28	2.8
F	F.R. Room		#40222	1977	46	5				2	1	- 1	2	2	-	2	1	1	2	2	1	-	2	2	1	2	3	2	29	2.9
																													-	
D	Library	Reading Room	#40222	1977	46	46				2	1	1	3	2	3	1	1	2	3	3	3	3	2	3	2	4	3	3	45	41.4
D	Conf. Room		#40222	1977	46	46				2	1	1	4	2	3	2	1	1	3	2	4	3	2	2	2	4	3	3	45	41.4
D	Library Office	Work Room	#40222	1977	46	46				2	1	1	3	2	3	2	1	2	4	3	4	3	3	2	2	4	3	3	48	44.2
D	Library Office	Work Room 2	#40222	1977	46	46				2	1	1	2	2	3	2	1	1	3	2	3	3	2	2	2	4	3	3	42	38.6
D	Break Room		#40222	1977	46	46				2	1	1	2	2	3	2	1	2	3	3	3	2	3	3	2	4	3	3	45	41.4
D	IT Closet		#40222	1977	46	46				2	1	1	6	2	3	2	-	2	3	3	3	3	3	2	2	4	3	3	48	44.2
D	LRR1		#40222	1977	46	46				2	1	1	2	2		1	1	2	3	3	2	-	3	2	2	4	3	3	37	34.0
D	RR2		#40222	1977	46	46				2	1	1	2	2	-	2	1	2	4	3	2	-	3	2	2	4	3	3	39	35.9
		REPAIRS																												
Misc. / Site	BFLC	5 TON 2021	#02-116665	2018	5	5																						1	- 1	
Misc. / Site	BFLC	5 TON 2018																										3	3	
Misc. / Site	Kinder Parking Lot	New Asphalt			2023	0					-	1	-		-	-		-	-	-	-	-	-	-	-	1		-	3	
Misc. / Site	Bus Lane	Slurry Seal			2023	0				-	-	1	-	-	-			-	-	-	-	-	-	-	-	- 1	-	- 1	3	
Misc. / Site	Primary Playground	Asphalt Slurry			2019	4				-	-	- 1	-	-	-			-	-	-	-	-	1	-	-	-	-	-	2	
Misc. / Site	Intermediate Playground	Asphalt Slurry			2019	4				-	-	1	-	-	-			-	-	-	-	-	1	-	-	-	-	- 1	2	
Misc. / Site	Kinder Playground	Asphalt Slurry			2023	0				-	-	- 1	-	-	-			-	-	-	-	-	1	-	-	-	-	-	2	
Misc. / Site	Exterior Painting	Permanent Bldgs			2018-2019					-	-	- 1	-	-	-			-	-	-	-	-	-	-	2	-	-	-	3	
Misc. / Site	Exterior Painting Portables	•			2023	0				-	-	2	-	-	-			-	-	-	-	-	-	-	2	-	-	-	4	
Misc. / Site		nent Buildings Re-Roofed 2018-2019, Gutters Replaced on Admin and BFI	C 2019		2018	5	1			-	-	2	-	2	-			-		-	-		-	-	-	-		-	4	
Misc. / Site	Fire & Intrusion System	2 Systems/Original and 2018			2018	5	1			-	-	-	-	-	-			-	-	-	-		-	-	-	-	-	-	0	
Misc. / Site	New Intercom and Master Clock System				2021	2	1			-	-	-	-	-	-			-	-	-	-	-	-	-	-		-	-	0	
Misc. / Site	Refrigerator and Freezer			l	2019	4	1	+		-	1	2	١.	-	- 1	-	<b>-</b>	-	-	-	-		-	-	1	-	-	-	4	-
Misc. / Site	Cement Repairs				2310	-	1				i i														-				-	
WISC. / SILE	Cerrient Nepails			-	1	-	1	+-+					<del>                                     </del>									<del>                                     </del>							$\rightarrow$	
<b> </b>							1		_				-									-							$\rightarrow$	
<del>                                     </del>	Broken drinking fountain @ Building C between	n blackton and field					+	+-+				_	<del>                                     </del>									<del>                                     </del>		<del>                                     </del>				$\vdash$		
Notes:	Room 12 HVAC Updated/reparied 6/23	· manage and and					-	+-+			-	-	-				<del>                                     </del>	-	-	<del>                                     </del>		-	<del>                                     </del>	<b>—</b>				$\vdash$		
	Room 14 smells of mildew 3rd grade wing problems, HVAC, countertops/	casework need updates, black top, shade structures, playground equipmen	need upgrades/repairs				<u> </u>				-	-	<b> </b>		ļ		<b> </b>	-	-	<b> </b>		<b> </b>	<b> </b>					<del></del>	-	
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## **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

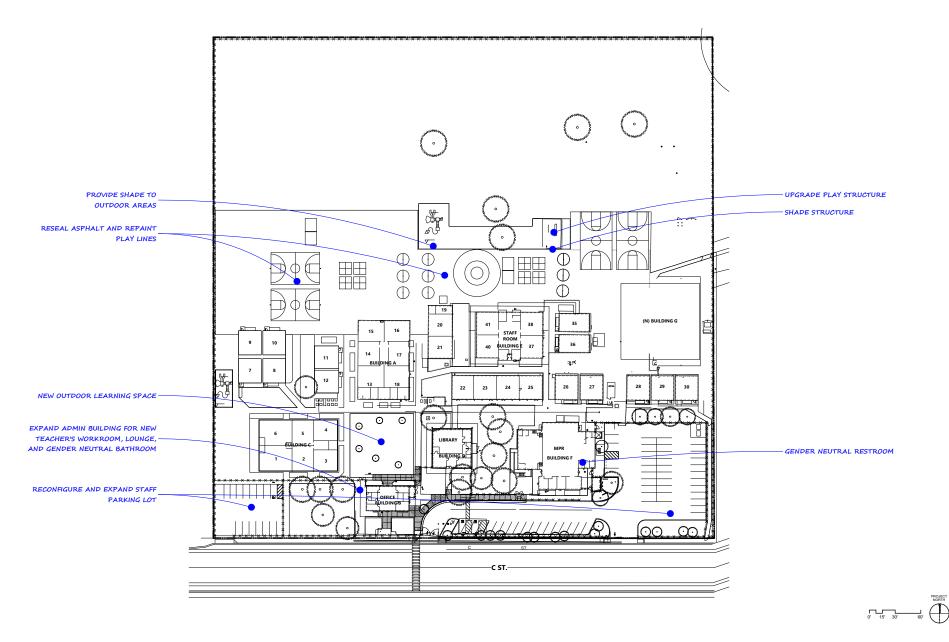
With the construction of its newest classroom building in late 2023, this campus has been able to relocate and expand the 5th and 6th grade classrooms. There are numerous rooms dedicated to supporting specialized teaching staff as office space. A number of classrooms currently share programs, such as instructional assistant office space within the special education classroom, or a combined staff break area and workroom. There are two kindergarten classrooms operating out of portable buildings and lack dedicated restrooms.

# EXISTING UTILIZATION SITE PLAN





# STAKEHOLDER INPUT





# MAINTENANCE PROJECTS

#### **BUILDING C**

- Minor repairs, maintenance, or replacement of HVAC within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Repair/replace flooring within 10-15 years
- Minor touch-up of wall finishes recommended within next 10-15 years

### **BUILDING K**

- Minor repairs, maintenance, or replacement of hvac within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Repair/replace flooring within 10-15 years
- Recommend further accessibility assessment and upgrades

#### RM 11-12

- Upgrade/replace building signage to comply with current standards
- Minor touch-up of wall finishes recommended within next 10-15 years
- Recommend further accessibility assessment and upgrades

#### **BUILDING A**

- Minor repairs, maintenance, or replacement of hvac within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Minor touch-up of wall finishes recommended within next 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Recommend paint doors and patch where needed
- Recommend further accessibility assessment and upgrades

#### RM 20-36

- Minor repairs, maintenance, or replacement of hvac within 5-10 years
- Immediate hvac replacement at select rooms: 20, 35, 36
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years

- Cosmetic repairs at casework within 3-5 years
- Repair/replace act ceiling within 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Recommend further accessibility assessment and upgrades

#### **BUILDING E**

- Minor repairs, maintenance, or replacement of HVAC within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Repair/replace act ceiling within 5-10 years
- Repair/replace flooring within 5-10 years
- Wall surface repair in 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Immediate window repair at select rooms
- Recommend paint doors and patch where needed
- Recommend further accessibility assessment and upgrades

### **BUILDING B**

- Hvac replacement within 1 year
- Upgrade/replace building signage to comply with current standards
- Immediate casework repair at select rooms
- Repair/replace flooring within 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years

#### **BUILDING F**

Recommend patch/paint doors at select rooms

#### **BUILDING D**

- Upgrade/replace building signage to comply with current standards
- Repair/replace act ceiling within 5-10 years
- Wall surface repair in 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Recommend patch/paint doors at select rooms

















### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | VALLEY OAKS ELEMENTARY SCHOOL

# ONE WAY TO ADDRESS THE NEEDS

Recommended projects at the Valley Oaks campus include the overall expansion of the existing parking lots to accommodate growing need for staff and visitor parking. This would include the expansion of the west parking lot and resurfacing and restriping of the east parking lot. Also proposed are upgrades to the existing play areas with the in-kind replacement of the existing equipment at the upper grade play structure and the addition of shade structures to both campus play areas. This project would include the resurfacing of the existing asphalt play areas at the north of site and the application of colored coating to sports courts and play lines. Modernization of permanent classroom buildings is recommended to improve functionality and aesthetic quality of the spaces, and in turn, promoting staff and student wellness.

The permanent classroom buildings recommended for modernization are: Building A, Building C, and Building E. In addition to upgrading the existing permanent classrooms, the school's relocatable classrooms are operating beyond their lifespan and are in need of urgent replacement. This proposed conceptual plan includes the in-kind replacement of all buildings of portable or modular construction in their existing locations. Valley Oaks would benefit from the development of an outdoor learning space. In this conceptual plan, the greenway east of Building C would provide adequate footprint for the installation of new shade structures and fixed seating to support an outdoor teaching and learning environment. Finally, the existing Admin building is undersized for its current program and would benefit from expansion. The conceptual plan proposes a +/- 1,000 square foot addition to Building B to provide adequate space for a staff workroom, lounge, and gender-neutral restroom.

# PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

### PARKING LOT RECONFIGURATION

 Expansion of both existing campus parking lots to accommodate growing need for staff and visitor parking. Project would include the expansion and resurfacing of existing asphalt lots.

OPINION OF PROBABLE COST: \$1,077,800

### PLAY AREA UPGRADES

Provide in-kind replacement of existing play equipment at the upper grade play structure, provide
metal shade structures at both campus play areas, resurface existing asphalt hardscape and provide
colored asphalt coating to play courts.

OPINION OF PROBABLE COST: \$2,724,800

### **OUTDOOR LEARNING SPACES**

 This project would bring to campus a dedicated outdoor learning space, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$1,087,500

### ADMIN BUILDING EXPANSION

• This project includes the expansion of the existing campus Admin building to allocate space for a new staff workroom, breakroom, and gender-neutral restroom, and the reconfiguration of the existing Admin space to suit current programmatic needs.

OPINION OF PROBABLE COST: \$3,692,500

### **BUILDING MODERNIZATION**

 Individual modernization of existing permanent classroom buildings to include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures. Modernization projects are recommended for the following buildings:

Buildina A

OPINION OF PROBABLE COST: \$5,540,000

• Building C

OPINION OF PROBABLE COST: \$5,540,000

• Building E

OPINION OF PROBABLE COST: \$4.875,200

### PORTABLE CLASSROOM REPLACEMENT

• In-kind replacement of the campus's aging relocatable classrooms: rooms 7, 8, 9, 10, 12, 13, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 42, & 43

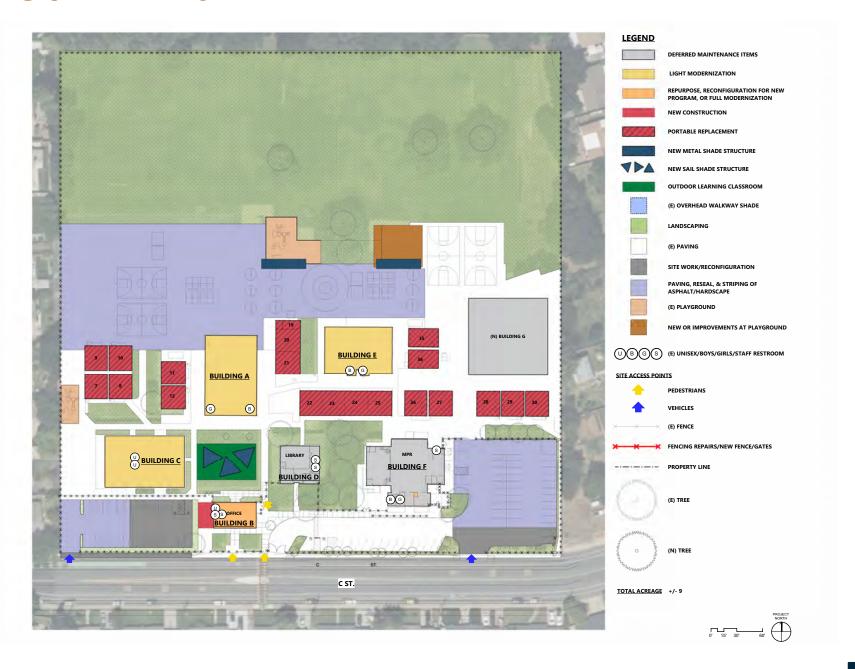
OPINION OF PROBABLE COST: \$38,783,200

#### GENDER-NEUTRAL RESTROOM

• Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building F).

OPINION OF PROBABLE COST: \$85,900

# PROPOSED MASTER PLAN





















#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | VALLEY OAKS ELEMENTARY SCHOOL

### CONCLUSION

There are numerous improvement projects recommended for Valley Oaks Elementary School. As one of the district's older campuses, many of the existing permanent buildings are in need of maintenance, modernization, and aesthetic improvements. This master plan recommends that classroom buildings A, C and E are renovated and brought to modern standards, to improve experience and daily usability for their users.

The relocatable classroom buildings are in urgent need of replacement. After communicating with campus leadership, it was preferred that the portables be replaced in-kind and in their existing location to maintain the current campus flow and building orientation.

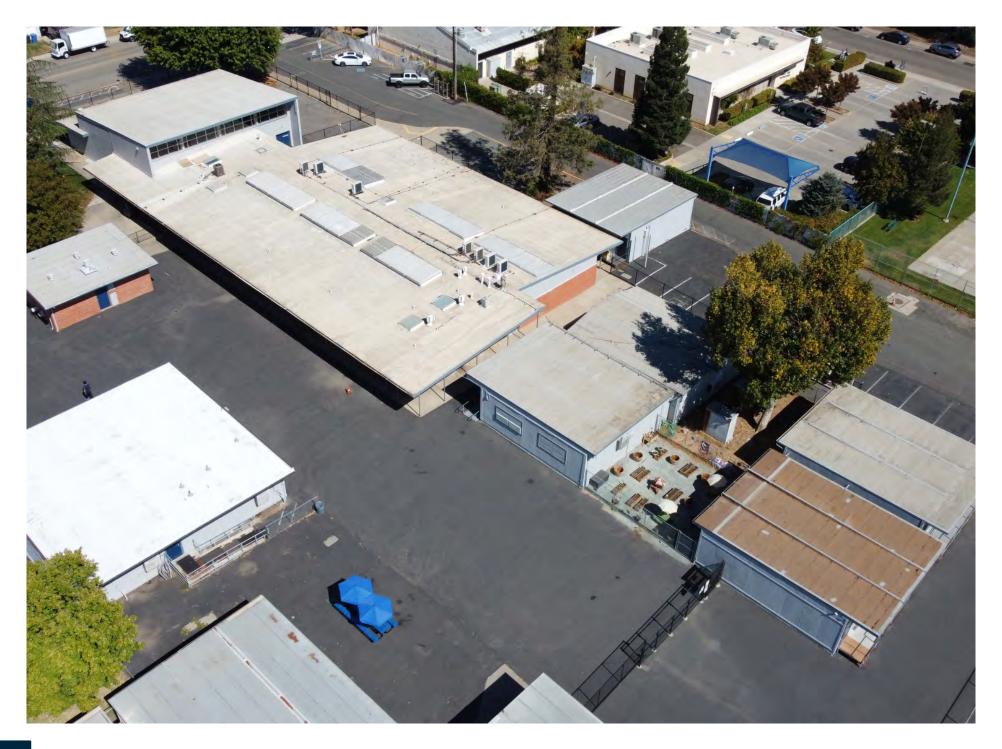
In addition, the school's outdoor spaces are in need of improvement. The proposed expansion of parking lots aim to address the growing demand for parking while enhancing traffic flow. Upgrades to play areas, including the addition of an outdoor learning space and shade structures throughout campus provide for an elevated outdoor learning environment.

Lastly, an expansion of the Administration Building will ensure that it adequately meets current and future program needs, with additional space allocated for a staff workroom, dedicated breakroom, and gender-neutral restroom. Collectively, these projects will contribute to the continued success and advancement of the Valley Oaks Elementary School campus, providing a safe, welcoming, and beneficial learning environment for all.





# FAIRSITE ELEMENTARY & EARLY LEARNING CENTER



#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | FAIRSITE ELEMENTARY AND EARLY LEARNING CENTER

### SCHOOL DATA

902 Caroline Avenue, Galt, CA 95632







Year Built: 1956

Modernizations and Campus Additions: 2015, 2022, 2023

Acreage: 8 Acres

Current Enrollment: 284

TK 5

Kindergarten 3

Special Ed 5

Total Classroom Spaces:

Additional 10

4

Total 27

# SITE AERIAL



# SCHOOL SITE DESCRIPTION

#### SITE

The Fairsite Elementary & Early Learning Center campus is located at 902 Caroline Avenue, Galt, CA. The campus is bounded to the north by Caroline Avenue, to the east by Chabolla Community Center, City of Galt Parks and Recreation, Chabolla Skate Park, and Gora Aquatic Center, and to the south and west by South Lincoln Way. The site is a relatively rectangular, 8-acre site that has its long axis in the northsouth direction, parallel to Chabolla Avenue. The school's campus is comprised of five permanent buildings and fourteen portable classroom buildings. The permanent buildings are centralized around paved and landscaped areas with a cluster of portable classroom buildings located at the southwestern perimeter of the site. The five permanent structures house the school's library, support spaces, multi-purpose space, preschool, and kindergarten classrooms. The campus's portable classroom buildings house the administration office, physical education, and support spaces, with two portables dedicated for use by an external organization. The campus has two blacktop areas abutting playground areas with structures. The areas are in the southern and western portions of the site serving an enclosed preschool area and all remaining classrooms. West of this paved area is a large, underutilized grass field. There are two parking lots with the entrances off Caroline Avenue and the exit along South Lincoln Way. The eastern parking lot directly in front of the multipurpose room includes staff and visitor parking with three stalls that, at the time of this assessment, are designated by the campus as accessible parking stalls. There is paved pedestrian egress between the staff and visitor parking lot and the school's main entrance. It is recommended that the campus be evaluated further to confirm compliance with current ADA requirements. The second parking lot is to the south of the portable building and is used for staff and visitor parking. The bus drop-off area is located on Caroline Avenue. Vehicular egress runs north-south through the existing parking areas with ingress and egress at Caroline Avenue and S. Lincoln Way.

#### BUILDINGS

Fairsite Elementary & Early Learning Center was originally constructed in 1956 with buildings A and A-2. Buildings B and C were constructed in 1961 and the preschool classrooms were built in 1967 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of wood framing, metal framed single-pane windows, exterior stucco and brick with wood trim, steel columns, and concrete slab flooring. The building materials for the portable classroom buildings include plywood siding and wood trim, metal framed single-pane windows, buildings are set on concrete and AC paving with metal and wood ramps. Buildings A multi-purpose and A-2 classrooms are connected by a covered breezeway, while the rest of the buildings on campus are free-standing. The roofs on the permanent buildings are aging and most need preventative maintenance and it is recommended that select roofs be considered for major repair for continued operation. It was also observed that many of the campus HVAC units and systems be considered for immediate repair or replacement. The majority of portable classroom buildings' roofs appeared to be in acceptable condition and would only warrant minor repairs at the time of assessment. Portable classroom buildings 34 and 36 appeared to be severely dilapidated and constitute immediate replacement. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. Student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements.

#### **PROGRAM SPACES**

Two Kindergarten classrooms have their own restrooms which appeared to be candidates for an accessibility evaluation. Modernized and expanded instructional and support spaces are required throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, additional staff restroom, shade structures, conference room and offices, reconfigure front of campus and parking to allow for new bus and student drop off, etc. Staff and community at this campus have expressed the desire for additional/supplemental programspaces as well as the modernization of existing facilities.



Ceiling tiles are warping



Water damage to ceiling tiles



Drinking fountain damaged



Cracks and gaps appearing on asphalt



Concrete cracked and wooden fence damaged



Ramps have sign of wear and tear



Portables in major need of repair

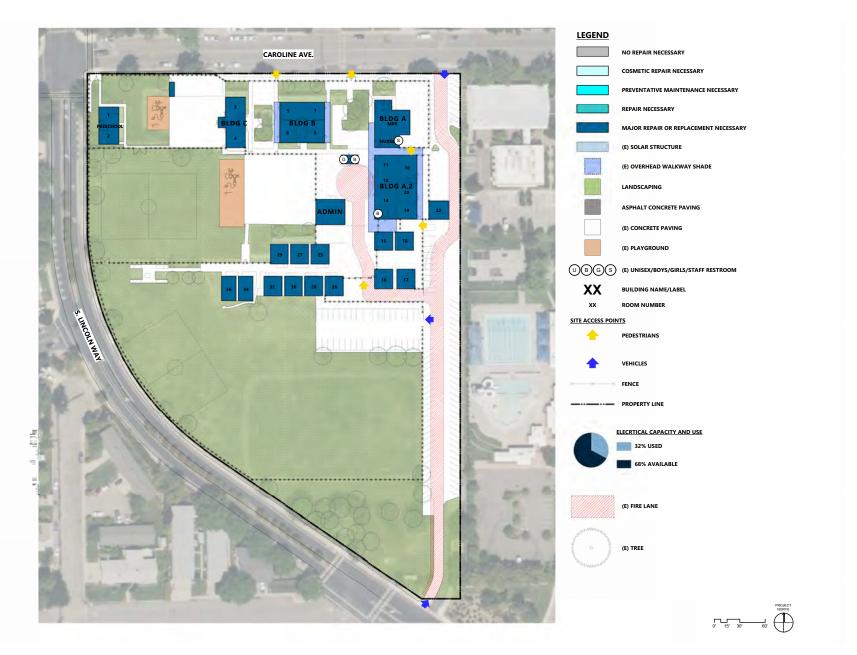


Portables in major need of repair



Portables in major need of repair

# ASSESSMENT SITE PLAN



This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

		LEMENTARY SCHOOL	DISTRICT																					FACIL	LITY A	SSESS	SMEN	Т
AIRSITE	<b>ELEMENTARY AND</b>	EARLY LEARNING CENTER																										
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BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE MOD	HAZ	STRUCT. FLS	ADA E	XT BLDG SI	TE E	DOORS	ROOF	WINDOWS LIGHTIN	IG FURNITUR	E WALL FINISHES	FLOOR	WALLS	CEILING	CASEWK	FIXTURES	ACOUS	EXT PAINT	SIGNAGE	HVAC	AESTH.	SUM	PRIC
RESCHOOL	Room 1	SPED (Hamrick)	#30310	1967	56	56			1	1	1	4	2	3 3	2	3	3	4	4	0	4	2	- 1	- 1	6	4	49	54
RESCHOOL	Room 2	SPED (Hamrick)	#30310	1967	56	56			1	1	1	3	2	3 3	2	2	3	3	4	6	3	2	1	-1		3	50	56
RESCHOOL	RR	RR 2	#30310	1967	56	56			1	1	1	4	2	0 1	2	2	3	3	3	0	4	4	1	-1		3	42	47
RESCHOOL	RR	RR 1	#30310	1967	56	56			1	1	1	4	2	0 1	2	3	3	4	3	0	4	4	1	1		3	44	4
С	Room 3 + RR	SPED PRESCHOOL (Isordia)	#21573	1961	62	62			1	2	1	3	2	4 1	2	5	3	6	4	0	0	2	1	1	6	2	46	57
С	Room 4 + RR	SPED PRESCHOOL (Arana)	#21573	1961	62	62			1	2	1	3	2	4 1	2	3	2	4	4	3	3	2	1	1		3	48	59
С	Storage	Storage	#21573	1961	62	62			1	2	1	0	2	0 1	2	0	3	0	0	0	0	3	1	1		3	26	3:
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В	Room 5	TK (Jaurez)	#21573	1961	62	62			1		1	3	3	4 1	2	5	2	6	4	6	3	4	2	1		4	60	74
В	Room 6	Preschool (Turner)	#21573	1961	62	62			1	2	1	3	3	0 1	1	3	2	4	6	6	3	4	2	1	6	4	53	68
В	Room 7	Preschool (Marquez)	#21573	1961	62	62			1		1	3	3	4 1	1	5	2		4	4	3	4	2	1	4	4	55	68
В	Room 8	Preschool (DuBois)	#21573	1961	62	62			1		1	3	3	4 1	1	5	3	6	6	4	3	4	2	1		4	60	74
В	Staff Work Room	Staff Work Room	#21573	1961	62	62			1		1	3	3	4 1	1	3	4	4	4	4	3	2	2	1		4	53	68
В	RR	Single Rest Room	#21573	1961	62	62			1		1	6	3	6 1	1	3	4	4	1	0	4	2	2	1		4	52	6
В	POD	POD	#21573	1961	62	62			1	2	1	3	3	0 1	1	3	2	4	6	6	3	4	2	1	6	4	53	6
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A	Room 9	Health Private Office Health Rest Room	#13459 #13459	1956	68 68	68			1		2	6	3	0 2	2	2	2	3	3	0	3	1	2	1	1	4	48 35	65
A		Private Office 2	#13459 #13459	1956	68	68			1		2	3	3	0 2	2	2	2	4	2	0	2	-	2		1 1	3	38	47
A	Room 9 Room 9	Private Office 2 Private Office 3	#13459	1956	68	68			1		2	3	3	4 1	2	2	2	4	4	4	2	4	2	1	1	4	38 48	51
A	Room 9	Work Room	#13459	1956	68	68			1		2	4	2	3 1	2	5	2	6	6	6	3	1	2	1	1	5	57	65
A	Room 9	Water Heater	#13459	1956	68	68			1		2	0	2	0 0	2	0	0	0	0	0	0	2	2	-	1	4	20	77
A	Multi-Purpose Room	MPR	#13459	1956	68	68			1		2	2	3	2 3	2	3	4	4	3	0	4	4	2	1	6	4	52	27 70
A	Kitchen	Kitchen	#13459	1956	68	68			1		2	2	3	4 3	2	2	4	3	4	0	3	4	2	1	6	4	52	70
A	Closet	Outdated Elec Equip/Worn/SP Win	#13459	1956	68	68			1		2	0	3	4 3	2	3	3	4	3	0	4	0	2	1	6	4	47	63
A.0	Freezer	Walk-in Cooler	#13459	1956	68	68			1		2		3	0	2					0		0	2	1		4	23	31
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A.2	Room 10	School Readiness Center	#13459	1956	68	68			1	2	2	3	3	4 1	2	3	2	4	4	6	3	3	2	1	1	4	51	6!
A.2	Room 11	Preschool	#13459	1956	68	68			1	2	2	3	3	6 1	1	3	4	4	4	6	3	4	2	1	1	4	55	7-
A.2	Room 12	Preschool	#13459	1956	68	68			1	2	2	3	3	4 1	1	3	3	4	4	6	4	3	2	1	1	4	52	70
A.2	Room 14	TK-West	#13459	1956	68	68			1	2	2	4	3	4 1	1	3	3	4	4	6	4	3	2	1	1	4	53	72
A.2	Room 14A	Boys Bathroom	#13459	1956	68	68			1	2	2	4	3	4 3	1	2	6	3	4	0	3	2	2	1	1	4	48	65
A.2	Room 14A	Girls Bathroom	#13459	1956	68	68			1	2	2	2	3	0 1	1	3	4	4	2	0	4	1	2	1	1	3	37	50
A.2	Room 14A	Electrical Storage	#13459	1956	68	68			1	2 :	2	0	3	0 1	-	0	3	0	0	0	0	3	2	1	1	3	22	29
A.2	Room 19	TK	#13459	1956	68	68			1	2	2	3	3	4 1	1	2	2	3	3	6	3	3	2	1	1	3	46	62
A.2	Room 20	TK	#13459	1956	68	68			1	2	2	3	3	4 1	1	2	4	3	3	6	3	3	2	1	1	3	48	65
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к	Room 22	Exp Learn	#49231	1987	36	36			1	2	1	3	2	3 1	1	3	2	4	4	0	3	3	2	1	6	3	45	61
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F	Room 15	EC Home Visitors	#41882	1978	45	45			1		1	3	2	3 1	1	2	2	3	3	0	3	2	1	1	1	3	34	24
E	Room 18	Steam Room	#41882	1978	45	45			1	1	3	3	2	4 1	1	3	3	3	2	3	2	2	1	1	6	3	45	40
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G	Room 16	Park & Rec	#45055	1983	40	40			2		2	6	2	3 2	2	2	4	3	3	0	3	2	2	3	3	3	49	3
Н	Room 17	Park & Rec	#45194			1	<u> </u>		2	1	1	3	2	3 3	1	3	3	4	4	0	3	2	1	1	1	3	41	₩
						1			<b>.</b>						_							<u> </u>	$\vdash$		_		<u></u>	_
N	Room 25	Staff Room	#54048	1990	33	33			1	1	3	3	2	3 2	1	3	4	4	3	4	3	1	1	1	6	4	50	33
W	Room 26	FS Storage	#54048	1990	33	33			1		2	3	2	3 1	2	2	4	3	4	4	3	1	1	1	6	4	48	31
0	Room 27	Speech	#54048	1990	33	33			1		2	3	2	3 2	2	3	3	4	3	3	3	2	1	1	6	3	48	31
V	Room 28	Preschool Library	#54048	1990	33	33			2	1 :	2	3	2	3 1	1	2	4	3	3	0	0	1	1	1		3	39	:

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R Room 98 Maintenance Enterior   #5983   1990   33   33	0 4	4 3	3 0 4	6 3 3 6 3 54 6
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Admin OFFICE 2   M61832   1994   29   29	0 3	4 2	2 0 3	1 3 1 6 2 45 2
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Admin RR2   M61832   1984   29   29   1   1   2   2   3   2   2   0   1   2   2   0   1   2   2   0   0   0   0   0   0   0   0	0 2	3 2	2 0 2	1 3 1 6 2 40 2
Admin RR2   M61832   1994   29   29   29   29   20   20   20   20	0 0	0 0	0 0 0	1 3 1 6 2 25 1
Admin HEALTH OFFICE   961832   1944   29   29   10   10   2   2   3   2   2   3   1   2   2   2   3   2   3   2   2   3   3	0 2	3 2	2 0 2	1 3 1 6 2 38 2
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Admin STOR	2 3	3 2	2 2 3	1 3 1 6 2 44 2
Admin PRINC OFF 961832 1994 29 29 9 2 2 2 2 3 1 2 2 3 2 4 2 2 3 4 2 2 3 3 1 2 2 3 2 4 2 2 3 4 2 2 3 4 2 2 3 4 2 2 3 4 2 2 3 4 2 2 3 4 4 2 2 3 4 4 2 3 4 4 2 4 4 4 4	2 3	3 2	2 2 3	1 3 1 3 2 38 2
Second Content	3 3	3 2	2 3 3	1 3 1 6 2 42 2
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REPAIRS   Repa				
Misc. / Site   Parking Lots   Aaphatt Stury/Restriped Parking Lot/2019   2019				- 6 4 - 6 44
Misc. / Site   Parking Lots   Aaphatt Stury/Restriped Parking Lot/2019   2019				0
Main Playground   Asphalt/2016Asphalt Sturry/2022   2016				
Misc. / Site Playground Asphalt Slurry/2020 2 2020				2
Misc. / Site Exterior Painting Perm Bidgu/2022 - Montanez Painting-Portables/2004 20222004				1
Misc / Site Roofing Original Mutit Roof Replaced/2011 2011 2011 2011 2011 2011 2011 2011				1
Misc. / Site         Intercom System				2
Misc. / Site				3
Misc./ Site         Freezer         Condenser/2005         2005         Image: Condenser/2005         Imag				0
Misc./ Site Bathroons (13) (2) 2019 (2) 2004 (9) Original				0
Misc. / Site Cement Repairs ongoing		1 1	1	9
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Misc. / Site				0
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Notes: Building B Single RR - Plan to upgrade over break.				
Notes: Storage box car in back playground in poor condition.				

#### **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

Two portables are currently being used and operated by external programs. Currently T-K classes are currently disintegrated across two buildings. Special education classrooms and instructional assistant offices are also disconnected by distance. There are numerous portable classrooms that are underutilized by current program space and are being used as curriculum storage for this campus and others.

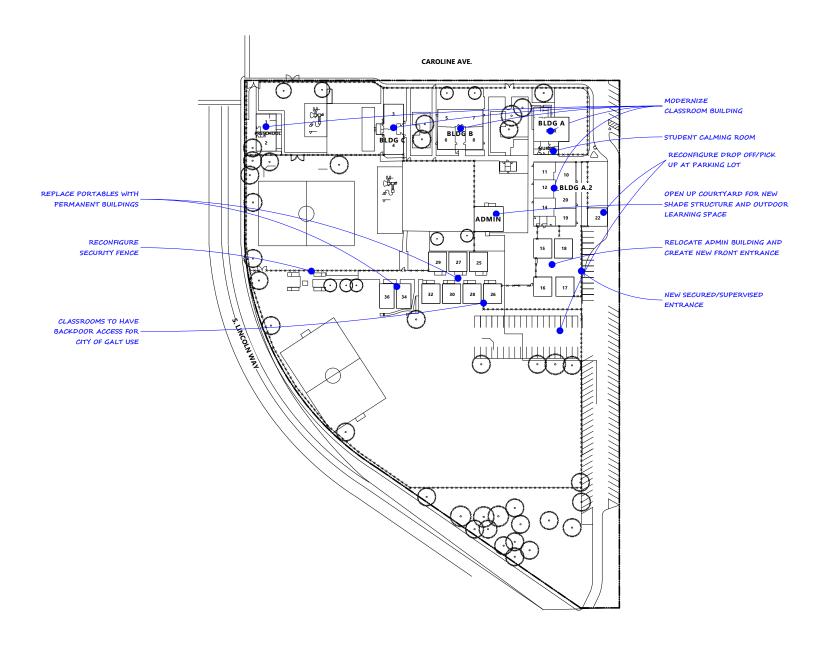
# EXISTING UTILIZATION SITE PLAN







# STAKEHOLDER INPUT





### MAINTENANCE PROJECTS

#### **PRESCHOOL**

- HVAC System replacement recommended within next year
- Damaged casework, replacement recommended within next 3 years
- Paint and patch doors as general maintenance, update hardware in next 5 years
- Light fixture replacement in the next 7-10 years
- General surface repair of walls in next 4-10 years
- General repair and maintenance of ceilings in next 5-10 years
- Update outdated fixtures where neccessary

#### **BUILDING C**

- Repair and maintenance of walls recommended within next year
- General surface repair of wall finishes in next 5 years
- General surface repair of floors in next 4-10 years
- General repair and maintenance of ceilings in next 5-10 years
- Aging windows, repair or replace in next 5-10 years

#### **BUILDING B**

- Paint and patch doors as general maintenance, update hardware in next 5 years
- General roof maintenance needed, replace in next 5-10 years
- Aging windows, repair or replace in next 5-10 years
- General surface repair of wall finishes in next 3 years
- Repair and maintenance of walls recommended within next 3 years
- General repair and maintenance of ceilings in next 3-5 years
- Aging casework, replacement recommended within next 3-5 years
- Update outdated fixtures where neccessary
- Maintenence/minor repair of acoustic tile in next 10-15 years

#### **BUILDING A**

- Paint and patch doors as general maintenance, update hardware in next 5 years
- General roof maintenance needed, replace in next 5-10 years
- Aging windows, repair or replace in next 7-10 years

- General surface repair of wall finishes in next 7 years
- Repair and maintenance of walls recommended within next 5 years
- General repair and maintenance of ceilings in next 3-5 years
- Aging casework, replacement recommended within next 5-10 years

#### **ROOM 10-14**

- General roof maintenance needed, replace in next 5-10 years
- Aging windows, repair or replace in next 5-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- Damaged casework, replacement recommended within next 3 years
- Update outdated fixtures where neccessary
- Maintenence/minor repair of acoustic tile in next 10-15 years

#### ROOM 22

- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC system replacement recommended within year

#### **ROOM 15 and 18**

- Aging windows, repair or replace in next 5-10 years
- HVAC System replacement recommended within next year

#### **ROOM 16 and 17**

- Repair or replace door, frame, and hardware; recommended within next year
- General surface repair of floors in next 5-7 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years

#### **ROOM 34 and 36**

Dilapidated conditions, recommend demolish outright and replace

# MAINTENANCE PROJECTS

#### **ROOM 25 and 32**

- General roof maintenance needed, replace in next 5-10 years
- Windows damaged or inoperable, replacement recommended in next year
- General surface repair of floors in next 5-7 years
- Update outdated fixtures where neccessary
- Paint and patch doors as general maintenance, update hardware in next 7 years
- Aging windows, repair or replace in next 7-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- HVAC upgrade/replacement recommended within year

#### **ADMIN BUILDING**

- Deficient HVAC system, replacement recommended within next year
- Paint and patch doors as general maintenance, update hardware in next 7-10 years
- General roof maintenance needed, replace in next 5-10 years
- Repair and maintenance of walls recommended within next 7-10 years

















#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | FAIRSITE ELEMENTARY AND EARLY LEARNING CENTER

### ONE WAY TO ADDRESS THE NEEDS

Among all other campuses in the district, Fairsite Elementary and Early Learning Center is in most need for modernization, reconfiguration, and improvements. First, our conceptual plan proposes the construction of a new Admin building of permanent construction at the southeast corner of site and the reconfiguration of the drop-off area to accommodate the new campus entry. On top of being the oldest campus, with most of the buildings constructed in the mid-twentieth century, Fairsite has also gone the longest without facilities improvements. This conceptual plan proposes the modernization of the following buildings: the Preschool at the eastern side of campus, Building C, Building B, Building A, and Building A.2. Also recommended is the replacement of all existing portables with either in-kind replacement, or new permanent classroom and support buildings at the southern perimeter of campus. Also recommended is the conversion of the center of campus into develop a dedicated outdoor learning space, complete with new fabric shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes such as rubberized surfacing or synthetic turf to provide an outdoor environment for teaching and learning.

### PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

#### PARKING LOT RECONFIGURATION

• Improvements to the north-south traffic circulation through the existing shared parking lot. Scope to include removal/relocation of one existing portable classroom, reconfiguration of the existing asphalt parking lot, and the resurfacing of the existing lot south of campus.

OPINION OF PROBABLE COST: \$980,500

#### **OUTDOOR LEARNING SPACES**

 This project would bring to campus a dedicated outdoor learning space, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$813,600

#### **NEW ADMINISTRATION BUILDING**

 Addition of a new administration building of permanent construction to be located at the southeast corner of site. Building would replace the current relocatable admin space and include private offices, restrooms, staff workroom, breakroom and conference spaces to be defined through future programming.

OPINION OF PROBABLE COST: \$5,900,100

#### BUILDING MODERNIZATION

- Individual modernization of existing permanent classroom buildings to include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures. Modernization projects are recommended for the following buildings:
  - Preschool

	Building A	OPINION OF PROBABLE COST:	\$1,093,000
•	G	OPINION OF PROBABLE COST:	\$1,913,000
•	Building A.2	OPINION OF PROBABLE COST:	\$3,716,000
•	Building B	OPINION OF PROBABLE COST:	\$2,459,000
•	Building C		φ2/.0//000

#### **NEW CLASSROOM BUILDINGS**

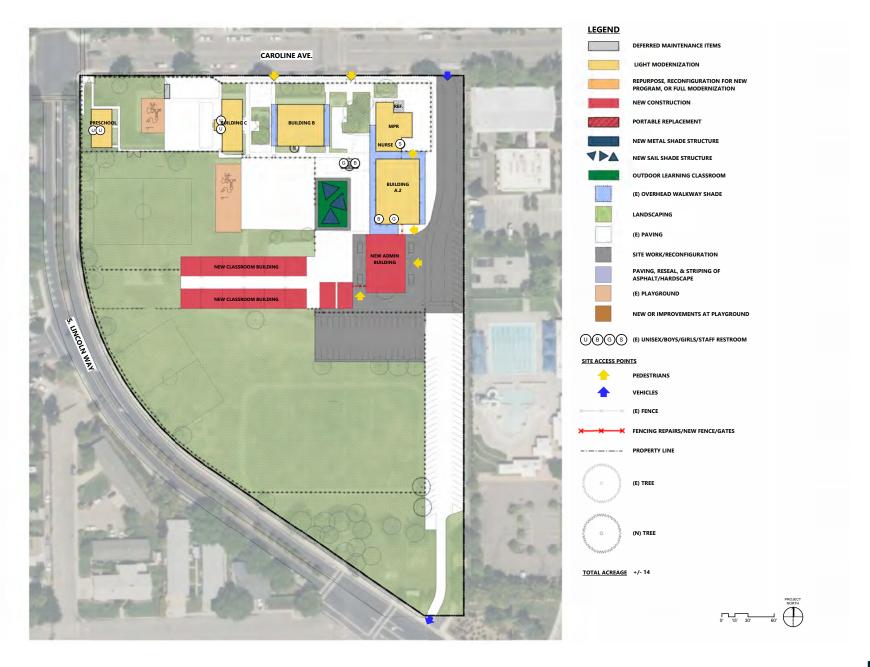
 Addition of new classroom buildings of permanent construction to be located at the south of campus. New permanent buildings would house twelve individual classrooms to replace the existing relocatable classrooms: 25, 26, 27, 28, 29, 30, 32, 34, & 36. Project would include the in-kind replacement of the two city-operated portables 16 & 17.

OPINION OF PROBABLE COST: \$17,469,000

\$1,530,200

OPINION OF PROBABLE COST:

# PROPOSED MASTER PLAN



















#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | FAIRSITE ELEMENTARY AND EARLY LEARNING CENTER

### CONCLUSION

In conclusion, Fairsite Elementary and Early Learning Center, being the oldest of the district's school sites is in urgent need for upgraded facilities. This master plan recommends that all existing permanent buildings be further evaluated and brought to current standards for finish, fixture, and technological requirements to improve day-to-day operations and wellness of staff and students alike.

The site provides numerous opportunities for improvement. The replacement of the portable Admin building with a new, permanent facility would provide staff and visitors with expanded space and amenities, such as a much-needed dedicated library space. A number of the campus's portable buildings are in urgent need of outright replacement. This master plan provides allowances for a new permanent classroom facility to frame the south of campus. Additionally, the campus is a candidate for the implementation of outdoor learning spaces, which would feature fabric shade structures and seating to create an environment for outdoor teaching and learning. These proposed improvements aim to bring Fairsite Elementary and Early Learning Center up to modern standards, providing a safer, more functional, and conducive environment for students and staff.





# ROBERT L MCCAFFREY MIDDLE



#### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | ROBERT L. MCCAFFREY MIDDLE SCHOOL

### SCHOOL DATA

997 Park Terrace Drive, Galt, CA 95632







Year Built:	2003	
Modernizations and Campus Additions:	2004, 2009	
Acreage:	34.2 Acres	
Current Enrollment:	768	
	Social Studies	6
	Science	6
	Art	3
	English	6
Total Classroom Spaces:	Math	5
	Special Ed	4
	ELOP	6

40

Additional

Total

# SITE AERIAL



# SCHOOL SITE DESCRIPTION

#### SITE

The Robert L. McCaffrey Middle School campus is located at 997 Park Terrace Drive, Galt, CA. The campus is bounded to the north by private residences, to the east by Marengo Road, to the south by private residences, and to the west by Park terrace Drive. The site is a relatively rectangular, 34.2-acre site on an axis running east-west, parallel to Shalford Way. The campus is comprised of nine permanent buildings, which are located approximately at the southwest end of the site and twelve portable classroom buildings located at the southeast end of the site. The nine permanent buildings house the school's library, administrative and support spaces, multipurpose room, gymnasium and locker room, and classrooms. Four permanent buildings are centralized around a landscaped "quad" area, while the multi-purpose room and gymnasium line the site's northern boundary and the administration and library buildings fall on the west end of site. The campus's east side is framed by blacktop play areas and two portable classroom wings. The portable classrooms house classrooms, the school's music room, and special day classes. East of the portable classroom wings are the school's dedicated track and sports field with bleacher seating. This area is enclosed by a fenced perimeter. There is one parking lot with ingress and egress along Park Terrace Drive. The parking lot is located west of the administration building and contains a bus drop-off area, staff and visitor parking with six spaces that at the time of the assessment were designated by the campus as accessible. There is paved pedestrian circulation between the visitor parking lot and the school's main entrance. The path is defined by signage, pavement striping, a curb cut, a sidewalk ramp and a sidewalk.

#### BUILDINGS

Robert L. McCaffrey Middle School was originally constructed in 2003 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of wood framing, metal framed dual-pane windows, exterior stucco, brick and ceramic tile with metal trim, steel tubing columns, and concrete slab flooring. The building materials for the portable classroom Buildings include plywood siding and wood trim, metal framed single-pane windows, and exterior concrete at the front of the classrooms set on dirt with permanent venting. All the permanent buildings are free-standing and not connected by covered walkway. The roofs on the permanent buildings appeared, at the time of assessment, to be in generally in acceptable condition. It is recommended that campus HVAC equipment and systems be considered for repair or replacement for continued operation. All portable classroom buildings' roofs appeared to be in acceptable condition. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. Student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements.

#### **PROGRAM SPACES**

Modernized and expanded instructional and support spaces are required throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, obstacle course equipment, track and field equipment, new gymnasium with correct court sizes for middle school, gender neutral student restroom, etc. Staff and community at this campus have expressed the desire for additional/supplemental program spaces as well as the modernization of existing facilities.



Drinking fountain damaged/broken



Mechanical equipment and roof aging



Water damage to ceiling tiles



Restroom tiles are cracking



Water dripping on exterior wall leaving deposits



Cracks appearing on asphalt



Water overflowing on lawn from plumbing



Carpet in classroom has tears

# ASSESSMENT SITE PLAN



This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

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<b>GALT J</b>	<b>OINT UNION EI</b>	LEMENTARY SCHOOL	L DISTRI	СТ																						FACI	LITY A	SSES	SMEN	Т
ROBERT	L. MCCAFFREY MID	DLE SCHOOL																												
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This worksheet est	ablishes data for determination of priorit	ty projects across a campus or district wide level. Pleas discrepancies are witnessed by the architect, the district	se note that the finding	gs in this spreadsh	eet are based on	the architect's field	observation	ns only. In							Rating Key	1=		no repair n	00000000				_							1-5
staff, and communi	ty. The architect will report any findings	of this nature to the district.	ciliay be required to o	zonduct additional t	esuriy or researci	i to ensure the sale	sty or the sto	udento,								2=		cosmetic r	epair necess				1							6-10
																4=		repair nece	ssary	nce necessa			_							16-20
																5= 6=			ssary for us ir needed fo	e past 2 yea r immediate	ers continued o	use	+					$\vdash \vdash$	$\vdash$	21-25 26+
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	CUDAUTURE	WALL	FLOOR	WALLS	CEILING	CASEWK	FIXTURES	ACOUS	ENT DANS	SIGNAGE	HVAC	AESTH.	0	PRIORITY
BUILDING R	B1	USE	02-103838	2003	21	MOD 21	HAZ	STRUCT.	FLS	ADA	EXT BLDG	2	DOORS	2	WINDOWS 2	2	FURNITURE	FINISH	FLOOR	WALLS 2	CEILING	CASEWK	FIXTURES	ACOUS	EXT PAINT	SIGNAGE	HVAL	AESTH.	46	FACTOR
В	Girls Restroom		02-103838	2003	21	21					1	2	3	2	-	2	1	3	3	2	3	-	4	1	1	4	6	3	41	19.3
В	B2		02-103838	2003	21	21					1	2	3	2	2	2	1	3	2	2	3	3	2	1	1	2		3	41	17.2
В	B3	WORK ROOM / POD	02-103838	2003	21	21					1	2	2	2	1	1	1	3	2	2	2	3	2	1	1	3		3	38	16.0
В	B4		02-103838	2003	21	21					1	2	2	2	2	2	1	3	4	2	- 1	3	2	1	1	3		3	41	17.2
В	Boys Restroom		02-103838	2003	21	21					1	2	2	2	-	2	1	3	3	4	2	-	3	1	1	4		3	40	16.8
В	B5		02-103838	2003	21	21		1		1	- 1	2	3	2	2	1	- 1	4	5	3	4	2	3	1	1	5		3	49	20.6
B B	B6 B7	Queng WORK ROOM / POD	02-103838	2003	21	21	<del>                                     </del>	1		1	1	2	3	2	2	1	1	3	3	2	3	2	2	1	1	5	6	3	43	18.1
В	B7 B8	WORK ROOM / POB Wellness space	02-103838	2003	21	21	-	-		-	1	2	3	2	2	2	1	3	3	2	3	3	2	1	1	5	6	3	43 46	18.1
В	FS Room	vveiiness space Janitor	02-103838	2003	21	21	-	1		1	1	2	2	2	-	2	1	3	3	2	3	4	3	1	1	4	6	3	46 39	19.3
В	Electrical	Storing tables, landscaping equip	02-103838	2003	21	21		†		1	1	2	3	2		2	1	4	3	2	1		3	1	1	4	6	3	39	16.4
		5																												10.4
С	Room C1	SPED	02-103838	2003	21	21					1	1	2	2	2	1	1	2	3	2	3	3	2	1	- 1	2	6	3	38	16.0
С	Room C2	Classroom	02-103838	2003	21	21					1	1	2	2	2	1	1	2	3	2	2	3	2	1	1	2	6	3	37	15.5
С	Room C3	WORK ROOM / POD	02-103838	2003	21	21					1	1	2	2	2	1	2	2	3	2	2	2	2	1	1	3		3	32	13.4
С	Room C4		02-103838	2003	21	21					1	1	3	2	2	1	1	2	3	2	2	3	1	1	1	2		3	37	15.5
c	Girls Restroom Staff Restroom	ADA Restroom 1	02-103838 02-103838	2003	21	21	1		-	-	1 1	1	2	2	-	2	1	3	4	2	2		2	1	1	2	6	3	37 37	15.5
C	Staff Restroom Room C5	ADA Restroom 1	02-103838	2003	21	21	<b>-</b>	-	1	-	1	1	2	2	2	1	1	2	2	2	2	3	2	1	1	2	6	3	37	15.5
С	Room C6	Classroom	02-103838	2003	21	21	<b>1</b>	1	1	<b>-</b>	1	1	3	2	2	1	1	3	3	2	2	3	4	1	1	3	6	3	42	15.5
С	Room C7	Kitchen	02-103838	2003	21	21					1	1	2	2	2	1	2	3	4	2	3	3	2	1	1	2		3	41	17.0
С	Room C8	Classroom	02-103838	2003	21	21					1	1	3	2	2	1	1	3	4	2	3	2	2	1	1	2		3	40	16.8
С	Boys Restroom		02-103838	2003	21	21					1	1	2	2	-	3	1	3	3	2	2	-	2	1	1	5		3	38	16.0
С	Staff Restroom	ADA Restroom 2	02-103838	2003	21	21					1	1	3	2	-	2	1	3	4	2	1	-	3	1	1	2		3	36	15.1
С	Elec FR Rom		02-103838 02-103838	2003	21	21					1	1	2	2	-	2	2	3	2	2	1	-	4	1	1	4	6	3	39	16.4
С	FR Rom		02-103838	2003	21	21		-			1	1	3	2	-	2	2	4	4	3	3	-	4	1	- 1	2	ь	3	42	17.6
D	Room D1		02-103838	2003	21	21		-	-		1	1	3	2	2	1	1	3	3	2	2	4	2	1	1	2	6		40	40.0
D	Room D2	WORK ROOM	02-103838	2003	21	21					1	1	2	2	2	1	2	2	5	2	3	3	2	1	1	1	6	3	40	16.8
D	Room D3		02-103838	2003	21	21					1	1	3	2	2	1	1	3	4	2	3	3	2	1	1	2		3	41	17.2
D	Room D4		02-103838	2003	21	21					1	1	2	2	1	1	1	3	3	2	3	2	2	2	1	2		3	38	16.0
D	Room D5		02-103838	2003	21	21					1	1	3	2	2	1	1	3	3	2	3	3	2	1	1	3		3	41	17.2
D	Room D6	WORK ROOM	02-103838	2003	21	21	-	1		1	1	1	2	2	2	1	2	2	5	2	3	2	2	1	1	2	6	3	40	16.8
D D	Room D7 Room D8		02-103838 02-103838	2003	21	21		-	1	1	1	1	2	2	2	2	1	2	2	2	3	2	2	1	1	2	6	3	38 38	16.0
J	Noull Do		02-103036	2003	21	21	<del>                                     </del>				-	- 1	- 2		2	2	-	2	-3	- 2	-3	2		-	-	2	- 0	3	30	16.0
E	Boys restroom		02-103838	2003	21	21		1		1	1	1	2	2	-	1	1	4	3	2	2	-	3	1	1	4	6	3	37	15.5
E	Room E1		02-103838	2003	21	21		1			1	1	3	2	1	1	1	3	4	2	3	2	2	1	1	2		3	39	16.4
E	Room E2		02-103838	2003	21	21					1	1	2	2	1	1	1	2	2	2	4	2	2	1	1	2		3	36	15.1
E	Room E3	WORK ROOM	02-103838	2003	21	21					1	1	2	2	2	1	1	2	4	2	2	2	2	1	1	2		3	37	15.5
E	Room E4		02-103838	2003	21	21		1		1	1	1	3	2	2	2	- 1	3	2	2	2	3	3	- 1	1	4	6	3	42	17.6
E E	Girls Restroom Room E5		02-103838	2003	21	21	<b></b>	-		1	1 1	1	3	2	2	1 2	1	2	2	2	2	2	2	1	1	2	6	2	31 44	13.0
E	Room E6		02-103838	2003	21	21	-	1		1	1	1	2	2	2	1	1	3	3	2	3	2	2	1	1	2	6	2	38	18.5
E	Room E7	WORK ROOM	02-103838	2003	21	21	<b>-</b>	1	1	1	1	1	2	2	2	1	1	2	4	1	2	3	2	1	1	2	6	3	37	15.0
E	Room E8		02-103838	2003	21	21		1	1		1	1	3	2	2	2	1	3	3	2	1	2	2	1	1	2	6	3	38	16.0
E	Electrical		02-103838	2003	21	21		1			1	1	3	2	-	1	1	3	2	2	2	-	3	1	1	2		3	34	14.3
E	Janitor	Fire Sprinkler Riser Room	02-103838	2003	21	21					1	1	3	2	-	2	2	3	4	3	2	-	3	1	1	5	6	3	42	17.6
																												ᆸ		
P4	Room P1	1	02-103838	2003	21	21		<del>                                     </del>	1	1	2	3	3	2	2	2	1	4	5	2	3	2	5	1	1	2	6	3	49	20.6
P4 P4	Room P2 Room P3		02-103838 02-103838	2003	21	21	<b></b>	-		1	2	3	3	2	3	2	1	2	5	2	2	3	2	1	1	2	6	3	45	18.9
P4	Room P3		02-103838	2003	21	21	1			1	2	3	3	2	3	2	1	3	5	2	4	3	2	- 1	1	2	1	3	43	18.1

P3	Room P4		02-104905	2003	21	16		2	2	3	2	3	2	1	3	5	2	2	3	2	1	1	2	6	3	45	14.4
P3	Room P5		02-104905	2003	21	16		2	2	3	2	2	1	1	3	3	2	3	2	2	1	1	2	6	3	41	13.1
P3	Room P6		02-104905	2003	21	16		2	3	3	2	2	1	1	3	2	2	2	3	2		1	2	6	3	40	12.8
P2	Room P7		02-109834	2008	16	16		2	2	3	2	2	2	1	4	6	2	3	2	2	1	1	2	1	3	41	13.1
P2	Room P8	Room split with partition wall	02-109834	2008	16	16		2	2	3	2	2	2	1	4	2	2	2	3	2	1	1	2	1	3	37	11.8
P2	Room P9	Music	02-109834	2008	16	16		2	2	3	2	4	2	1	4	2	2	1	2	2	1	1	2	1	3	37	11.8
P1	Room P10		02-109834	2008	16	16			2	2	2	2	1	1		2	2		2	2	1	-1	2		_	33	
P1								3		2			1	1	3			1	2		1	1		1	3		10.6
P1	Room P11 Room P12	Vacant	02-109834 02-109834	2008 2008	16 16	16 16		2	2	3	2	2	2	1	3	2	2	4	3	2	1	1	2	6	3	42 45	13.4
PI	Room P12		02-109634	2008	10	10		2	2	3	2	2	2	'	3	4	2	3	3	2	- '	- '		•	4	45	14.4
S	Room S1	Science	02-103838	2003	21	21		1	1	2	2	2	2	1	2	2	2	1	2	2	1	- 1	2	6		37	
S	Room S2	Science	02-103838	2003	21	21		1	1	2	2	2	-	1	2	2	2	2	2	2	1	1	2	6	2	38	15.5
s	Room S3	Prep Room	02-103838	2003	21	21		1	1	2	2	1	2	1	2	2	2	3	2	1	1	1	2	6	3	34	16.0
S	Room S4	Science	02-103838	2003	21	21		1	1	2	2	3	1	1	3	3	2	2	2	3	1	1	3	6	2	40	14.3
S	Room S5	Science	02-103838	2003	21	21		1	1	3	2	2	1	1	3	3	2	2	2	2	1	1	2	6	2	37	16.8
s	Room S6	Science	02-103838	2003	21	21		1	1	3	2	2	1	1	3	4	2	3	3	2	1	1	2	6	2	41	17.0
s	Room S7	Prep Room	02-103838	2003	21	21		1	1	2	2		1	1	3	3	2	4	2	2	1	1	2	6	2	36	15.4
s	Room S8	Science	02-103838	2003	21	21		1	1	3	2	2	1	1	3	3	2	1	3	2	1	1	2	6	3	38	16.0
S	Room S9	Prep Room	02-103838	2003	21	21		1	1	2	2	3	1	1	3	3	2	3	2	2	1	1	2	6	2	38	16.0
																								T			
A	Office 1	Office 1	02-103838	2003	21	21		2	1	1	2	1	2	1	1	2	2	4	0	1	1	1	4	6	2	34	14.3
A	Hallway	Hallway	02-103838	2003	21	21		2	1	2	2	1	2	1	1	3	2	3	0	1	1	1		6	2	31	13.0
A	Admin: A24	Staff Restoom	02-103838	2003	21	21		2	1	2	2	2	1	1	2	2	3	1	2	1	1	1	2	6	2	34	14.3
A	Admin: A23	Staff Restroom	02-103838	2003	21	21		2	1	2	2	-	1	1	1	2	2	2	3	2	1	1	2		2	33	13.9
A	Janitor	Janitor	02-103838	2003	21	21		2	1	2	2	-	2	1	2	4	3	2	-	2	1	1	1	6	2	34	14.3
A	Hallway 2/Entry	Hallway 2/Entry	02-103838	2003	21	21		2	1	2	2		2	1		2		1	-		1	1	2	6	2	25	10.5
A	Admin: A14	Principal Office	02-103838	2003	21	21		2	1	2	2	2	1	1	1	2	2	1	-	2	1	1	2	6	2	31	13.0
A	Admin: A04	Vice Principal	02-103838	2003	21	21		2	1	2	2	2	2	1	1	2	2	2	2	2	1	1	2	6	2	35	14.7
A	Office 2(Near Entry)	Office 2(Near Entry)	02-103838	2003	21	21		2	1	2	2	2	2	1	2	2	3	2	2	2	2	1	2	6	2	38	16.0
A	Reception Storage	Reception Storage	02-103838	2003	21	21		_	1	2	2	- 1		1	2		3	2	-	1	2	1	2	_	2	33	13.9
A A	Reception Admin: A20/A21	Reception  Nurse and Restroom	02-103838 02-103838	2003 2003	21	21		2	1	2	2	2	2	1	1	2	2	3	3	1	2	1	2	6	2	36 36	15.1
A	Office 3	Office 3	02-103838	2003	21	21		2	1	1	2	4	2	1	2	2	2	4	3	1	1	-	2	6	2	32	15.1
A	Office 4	Office 4	02-103838	2003	21	21		2	1	2	2	2	2	1	2	2	3	2		1	1	1	2	6	2	34	13.4
A	Admin: A22	Electric	02-103838	2003	21	21		2	1	1	2	-	2	1	2	2	3	1	-	2	1	1	2	6	2	31	14.3
A	Office 5	Office 5	02-103838	2003	21	21		2	1	2	2	2	2	1	1	2	2	2	-	-	1	1	2	6	2	31	12.0
																											13.0
L	Reading area		02-103838	2003	21	21		2	2	2	1	2	2	1	1	1	1	4	2	2	1	1	1	6	2	34	14.3
L	Workroom		02-103838	2003	21	21		2	2	2	1	1	2	1	1	2	2	2	3	2	1	1	1	6	2	34	14.3
L	Office		02-103838	2003	21	21		2	2	3	1	2	2	1	1	1	2	1	-	2	1	1	1	6	2	31	13.0
L	Storage 1		02-103838	2003	21	21		2	2	2	1	-	1	1	2	1	3	1	-	4	1	1	1	6	2	31	13.0
L	FS Riser		02-103838	2003	21	21		2	2	1	1	-	1	1	1	1	1	1	1	1		1	1	6		22	9.2
L	Staff Restroom		02-103838	2003	21	21																	1	6	2	27	11.3
L	Strorage 2	Needs to be cleaned out to meet accessibility	02-103838					2	2	2	1	-	1	1	1	1	2	1	-	2	1	1	-				
L	Psych			2003	21	21		2	2	2	1	-	2	1	1	3	2	1	3	3	1	1	1	6	3	35	14.7
L			02-103838	2003	21	21		2	2	2	1	3	2	1	1 1 2	6	2	1	3	2	1	1	1	6	3	46	14.7 19.3
1 -	Staff Restroom		02-103838 02-103838	2003 2003	21 21	21 21		2 2 2	2 2 2	2 3 2	1 1 1	3	2 2 2	1 1 1	1 1 2 1	3 6 2		1 1 3 1	3 3	2 2	1 1 1	1	1	6 6 6	3 4 3	46 30	14.7 19.3 12.6
L	Electrical		02-103838 02-103838 02-103838	2003 2003 2003	21 21 21	21 21 21		2 2 2 2	2 2 2 2	2	1 1 1 1	3 -	2 2 2 2	1 1 1 1	1 1 2 1	3 6 2 4	2	1 3 1	3 3 -	2 2 3	1 1 1 1	1 1 1 1	1 1	6 6 6		46 30 35	14.7 19.3 12.6 14.7
L	Electrical Meeting		02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003	21 21 21 21	21 21 21 21		2 2 2 2 2	2 2 2 2 2	2 3 2	1 1 1	3 3	2 2 2 2 2	1 1 1	1 1 2 1 2 2	3 6 2	2	1	3 3 - 3 3 3 - 3 3 3 - 3 3 3 - 3 3 3 - 3 3 3 3 - 3 3 3 3 - 3 3 3 3 3 - 3 3 3 3 3 3 - 3	2 2	1 1 1 1 1 1	1	1	6 6 6 6	3 3 3	46 30 35 38	14.7 19.3 12.6 14.7 16.0
L L	Electrical Meeting Speech	AV Fruin-Addon	02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003	21 21 21 21 21	21 21 21 21 21 21		2 2 2 2 2 2 2	2 2 2 2 2 2	2 3 2 2 2 3 3	1 1 1 1 1 1 1	3 - - 3 2	2 2 2 2 2 2	1 1 1 1 1 1	1 1 2 1 2 2 2 2	3 6 2 4	2	1 3 1	3 3 - - 3	2 2 3	1 1 1 1 1 1 1	1 1 1 1 1 1 1	1 1 1 1 1 1	6 6 6 6	3	46 30 35 38 43	14.7 19.3 12.6 14.7 16.0 18.1
L	Electrical Meeting	AV Equip'Video Fire Sprinkler Room	02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21	21 21 21 21 21 21 21		2 2 2 2 2 2 2 2	2 2 2 2 2	2 3 2 2 3 3 2	1 1 1 1 1 1	3 - - 3 2 -	2 2 2 2 2	1 1 1 1 1 1	1 1 2 1 2 2	3 6 2 4	2	1 3 1	- 3 3 - - 3 - 3	2 2 3	1 1 1 1 1 1	1 1 1 1 1	1 1 1 1 1 1 1 1	6 6 6 6	3 3 3	46 30 35 38 43 39	14.7 19.3 12.6 14.7 16.0 18.1 16.4
L L	Electrical Meeting Speech L1	AV Equip'Video Fire Sprinkler Room	02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003	21 21 21 21 21	21 21 21 21 21 21		2 2 2 2 2 2 2	2 2 2 2 2 2 2	2 3 2 2 2 3 3	1 1 1 1 1 1 1 1 1	3 - - 3 2 -	2 2 2 2 2 2 2 2	1 1 1 1 1 1	1 1 2 1 2 2 2 2	3 6 2 4 1 6 3	2 3 2 3 3 3 3	1 3 1	- 3 3 - - 3 - 3	3 2 2 3 2 3 3	1 1 1 1 1 1 1 1	1 1 1 1 1 1 1	1 1 1 1 1 1	6 6 6 6 6 6	3 3 3	46 30 35 38 43	14.7 19.3 12.6 14.7 16.0 18.1 16.4
L L	Electrical Meeting Speech L1		02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21	21 21 21 21 21 21 21		2 2 2 2 2 2 2 2	2 2 2 2 2 2 2	2 3 2 2 3 3 2	1 1 1 1 1 1 1 1 1	- 3 3 3 3 2	2 2 2 2 2 2 2 2	1 1 1 1 1 1	1 1 2 1 2 2 2 2	3 6 2 4 1 6 3	2 3 2 3 3 3 3	1 3 1	- 3 3 3 0 0	3 2 2 3 2 3 3	1 1 1 1 1 1 1 1	1 1 1 1 1 1 1	1 1 1 1 1 1 1 1	6 6 6 6 6 6	3 3 4 3	46 30 35 38 43 39 26	14.7 19.3 12.6 14.7 16.0 18.1 16.4
L L L	Electrical Meeting Speech L1 Janitor		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21	21 21 21 21 21 21 21 21		2 2 2 2 2 2 2 2 2 2	2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2	1 1 1 1 1 1 1 1 1 1 1	3 3 3 3 2 4 4	2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2	3 6 2 4 1 6 3	2 3 2 3 3 3 3 1	1 1 1 1 1 3 3 3 1 1	- 3 3 3 3 0 0	3 2 2 3 2 3 3 2	1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1	1 1 1 1 1 1 1 2	6 6 6 6 6 6	3 3 4 3 3 2 2	46 30 35 38 43 39 26 2	14.7 19.3 12.6 14.7 16.0 18.1 16.4
L L L	Electrical Meeting Speech L1 Janifor Hallway 1		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21	21 21 21 21 21 21 21 21		2 2 2 2 2 2 2 2 2 2	2 2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2	1 1 1 1 1 1 1 1 1 1 2	3 2	2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 2 1	3 6 2 4 1 6 3	2 3 2 3 3 3 3 1	1 3 1 1 1 1 3 3 3 1 1 2 2	3 3 - - 3 - 3 0	3 2 2 3 2 3 3 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 2	6 6 6 6 6 6 6	3 3 4 3 3 2 2 2	46 30 35 38 43 39 26 2	14.7 19.3 12.6 14.7 16.0 18.1 16.4 16.4
L L L	Electrical Meeting Speech L1 Janitor Hallway 1 Women Restroom		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21	21 21 21 21 21 21 21 21 21 21		2 2 2 2 2 2 2 2 2 2	2 2 2 2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2 2 2	1 1 1 1 1 1 1 1 1 1 2 2 2	3 3 2	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 2 1	3 6 2 4 1 6 3 1	2 3 2 3 3 3 3 1	1 3 1 1 1 1 3 3 3 1 1 2 2 2 2	3 3 3 3 0 0	3 2 2 3 2 3 3 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 2 2 1 1 4	6 6 6 6 6 6 6	3 3 4 3 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3
L L L M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Women Restroom FS Riser Room/Janitor Mens Restroom Multi-Purpose		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	4 3	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 3 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 1 2 2 2 2 2 2 1 1 3 3 2 2 2 2 5 5 5 5 5 5 5 5 5 5 5 5 5 5	3 6 2 4 1 1 6 3 1 1 3 3 3 3 3 3 3 3 3 3 3 3 3 3	2 3 2 3 3 3 3 1 1	1 3 1 1 1 1 3 3 3 1 1 2 2 2 3 3 2 3 3 3 1	3 3 	3 2 2 3 2 3 3 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6	3 3 3 4 3 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3 15.1
L L L M M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Women Restroom FS Reer Room/Janitor Mens Restroom Multi-Purpose Stage/Blackstage		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2 2 2 3 3 2 2 2 3 3 2 2 2 3 3 2 2 3 2 3 2 3 2 3 2 3 3 2 3 3 2 3 3 2 3 3 2 3 3 3 2 3 3 3 3 2 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	3 - - 3 2 - - - - - 3	2 2 2 2 2 2 2 2 2 2 2 2 2 2 3 3 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 1 1 3 3 2 2 2 2 5 3 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	3 6 2 4 1 1 6 3 3 1 1 3 3 3 3 3 3 3 3 3 3 3 3 3	2 3 2 3 3 3 3 3 1 1	1 3 1 1 1 1 1 1 3 3 3 3 1 1 1 2 2 2 3 3 2 3 3 3 3	3 3 	3 2 2 3 3 2 3 3 2 2 2 2 2 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 2 1 4 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 3 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 46 37	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3 15.1 19.3
L L L M M M M M	Electrical Meeting Speech L1 Janitor Hallway 1 Wonen Restoom FS Riser Room/Janitor Mens Restroom Multi-Purpose Stageflacktage Backstage Backstage		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2 2 2 3 3 2 2 2 3 3 2 2 2 3 3 2 2 3 3 2 3 2 3 3 3 2 3 3 3 2 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	4 3	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 1 1 3 3 2 2 2 2 5 3 3 5 5 5 5 5 5 5 5 5 5 5	3 6 2 4 1 1 6 3 1 1 3 3 3 3 3 3 3 3 3 3 3 3 3 3	2 3 2 3 3 3 3 3 1 1 4 4 3 3 3 6 4 6	1 3 1 1 1 1 1 3 3 3 1 1 1 2 2 2 3 3 2 2 3 3 3 2 2		3 2 2 3 3 2 3 3 2 2 2 2 2 2 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 2 2 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 4 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 46 37	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3 15.1 19.3 15.5 17.2
L L L M M M M M M M M M M M M M M M M M	Electrical Meeting Speech L1 Janitor Hallway 1 Women Restroom FS Riser Room/Janitor Mens Restroom Multi-Purpose Stagel Backstage Backstage Restroom Backstage Janitor		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	- 4 	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 1 1 3 3 2 2 2 2 5 3 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	3 6 2 4 1 1 6 3 3 1 1 3 3 3 3 3 3 3 3 3 3 3 3 3	2 3 2 3 3 3 3 3 1 1	1 3 1 1 1 1 1 3 3 3 1 1 2 2 2 3 3 2 2 1 1	- 3 3 3 3 1	3 2 2 3 3 2 3 3 2 2 2 2 2 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 2 2 4 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 4 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 46 37 41	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3 15.1 19.3 15.5 17.2
L L L M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Wonen Restroom FS Riser Room/Janitor Mush Purpose Stage Backstage Backstage Restroom Backstage Agentoom Mush Room		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 2 2 3 3 2 2 2 2 3 3 2 2 2 3 3 2 2 2 3 3 2 2 3 3 2 3 2 3 3 3 2 3 3 3 2 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	4 3	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 1 1 3 3 2 2 2 5 5 3 3 5 1 1 3 3 1 1	3 6 2 4 1 1 6 3 3 1 1 3 3 3 3 3 3 3 3 3 2 2 3 3	2 3 2 3 3 3 3 3 1 1 4 4 3 3 3 6 4 6	1 3 1 1 1 1 1 3 3 3 1 1 1 2 2 2 3 3 2 2 3 3 3 2 2	1	3 2 2 3 3 2 3 3 2 2 2 2 2 2 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 2 39 37 34 36 46 37 41 28	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3 15.1 19.3 15.1 19.3
L L L M M M M M M M M	Electrical Meeting Speech L1 Janitor Hallway 1 Wonen Restroom FS Reer Room/Janitor Mens Restroom Multi-Purpose Stage Backstage Backstage Bankstage Backstage Janitor Music Room Music Room		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		2 2 2 2 2 2 2 2 2 2 3 3 1 1 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 2 2 2 2 2 1 1 3 3 2 2 2 2 5 3 3 5 5 5 5 5 5 5 5 5 5 5	3 6 2 4 1 1 6 3 3 1 1 3 3 3 3 3 3 3 3 3 3 3 3 3	2 3 3 3 3 3 3 1 1 4 4 3 3 3 6 4 4 6 2 4 4 3	1 3 1 1 1 1 1 3 3 3 1 1 2 2 2 3 3 2 2 1 1		3 2 2 3 3 2 3 3 2 2 2 2 2 2 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 4 3 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 46 37 41 28 46	14.7 19.3 12.6 14.7 16.0 18.1 16.4 15.5 14.3 15.1 19.3 15.5 17.2 11.8 19.3
L L L M M M M M M M M M M M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Women Restroom FS Restroom Multi-Purpose Stage/Backstage Backstage Restroom Backstage Janitor Music Room Music Room Music Room Music Room		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	- 4 	2 2 2 2 2 2 2 2 2 3 3 1 1 1 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 1 2 2 2 2 2 1 1 3 3 2 2 3 3 3 5 5 1 1 3 3 2 2 3 3	3 6 2 4 1 1 6 3 1 1 3 3 3 3 3 3 3 3 3 3 3 2 2 2 2	2 3 2 3 3 3 3 3 1 1 4 4 3 3 3 6 4 6	1 3 1 1 1 1 1 3 3 3 1 1 1 2 2 2 3 3 2 2 3 3 3 2 2 1 1 6 6 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	1	3 2 2 3 3 3 2 2 2 2 2 3 4 4 4 3 4 1 1 3 3 3 3 3 3 3 3 4 4 3 3 4 4 4 3 4 4 3 4 4 3 3 4 4 4 3 3 4 4 4 4 3 3 3 4 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 4 4 3 3 4 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 46 37 41 28 46 35	14.7 19.3 14.7 16.0 18.1 16.4 15.5 14.3 15.1 19.3 16.5 17.2 11.8 19.3 14.7
L L L L M M M M M M M M M M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Wonnen Restroom FS Riser Room/Janitor Mens Restroom Multi-Purpose Stage/Backstage Backstage Restroom Backstage Featroom Music Room Music Room Choir Room Dressing Room		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 2 1 1 2 2 2 2 2 2 1 1 3 3 2 2 2 2 3 3 3 2 2 3 3 2 2 1 1 3 3 2 2 3 3 2 2 1 1 1 3 3 2 2 3 3 2 2 1 1 1 1	3	2 3 3 3 3 3 3 1 1 4 4 3 3 3 6 4 4 6 2 4 4 3	1 3 1 1 1 1 1 3 3 3 1 1 2 2 2 3 3 2 2 1 1	1	3 2 2 3 3 2 3 3 2 2 2 2 2 2 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 4 4 3 5 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 46 37 41 28 46 35 42	147 193 126 147 160 181 164 164 155 143 151 193 155 172 118 193 147
L L L L L L L L L L L L L L L L L L L	Electrical Meeting Speech L1 Janitor Hallway 1 Wonen Restroom FS Riser Room/Janitor Mens Restroom Multi-Purpose Stage Backstage Backstage Bankstage Backstage Janitor Music Room Music Room Music Room Choir Room Closet 1		02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		2 2 2 2 2 2 2 2 2 3 3 1 1 1 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 2 2 2 2 2 2 1 1 1 2 2 2 2 2 3 3 3 2 2 3 3 3 2 2 2 2	3 6 2 4 4 1 1 6 3 1 1 1 3 3 3 3 3 3 3 3 3 3 2 2 3 3 2 2 2 2	2 3 3 3 3 3 3 1 1 4 4 3 3 3 6 4 4 6 2 4 4 3	1 1 3 1 1 1 1 1 1 1 3 3 3 1 1 1 1 2 2 2 3 3 3 3	1	3 2 2 3 3 3 2 2 2 2 2 3 4 4 4 3 4 1 1 3 3 3 3 3 3 3 3 4 4 3 3 4 4 4 3 4 4 3 4 4 3 3 4 4 4 3 3 4 4 4 4 3 3 3 4 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 4 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 43 38 43 39 26 2 2 37 34 36 46 37 41 28 46 35 35	147 19.3 12.6 14.7 16.0 18.1 16.4 16.4 15.1 19.3 15.1 19.3 14.2 17.2 11.8 19.3 14.7 17.6
L L L L M M M M M M M M M M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Women Restroom FS Rest Room/Janitor Mens Restroom Multi-Purpose Stage/Backstage Backstage Restroom Backstage/Restroom Music Room Music Room Music Room Dessing Room Closet 1 Backstage Closet		02-103838 02-103839	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		2 2 2 2 2 2 2 3 3 1 1 1 2 2 2 2 2 2 2 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 2 2 2 2 2 2 2 2 3 3 3 5 5 1 1 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2 2	3 6 2 4 1 1 6 3 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	2 3 3 3 3 3 3 1 1 4 4 3 3 3 6 4 4 6 2 4 4 3	1 1 3 1 1 1 1 1 1 3 3 3 3 1 1 1 2 2 2 3 3 3 3	1	3 2 2 3 3 3 2 2 2 2 2 3 4 4 4 3 4 1 1 3 3 3 3 3 3 3 3 4 4 3 3 4 4 4 3 4 4 3 4 4 3 3 4 4 4 3 3 4 4 4 4 3 3 3 4 4 4 4 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 4 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 46 37 41 28 46 35 42 35 35 37	147 193 126 14,7 16,0 18,1 16,4 16,4 16,4 15,5 143 15,1 193 15,2 17,2 11,9 19,3 14,7 17,6 14,7 14,7
L L L M M M M M M M M M M M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Women Restroom F Siter Room/Janitor  Mush Purpose Stage Rackstage Backstage Backstage Backstage Janitor Music Room Music Room Music Room Music Room Stage Restroom Backstage Janitor Music Room Music Room Liceset I Backstage Coset Kitchen		02-103838 02-103838	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 2 2 2 2 2 2 1 1 1 2 2 2 2 2 3 3 3 2 2 3 3 3 2 2 2 2	3 6 2 4 4 1 1 6 3 1 1 1 3 3 3 3 3 3 3 3 3 3 2 2 3 3 2 2 2 2	2 3 3 3 3 3 3 1 1 4 4 4 3 3 3 3 3 4 4 4 3 3 3 3	1 1 3 1 1 1 1 1 1 1 3 3 3 1 1 1 1 2 2 2 3 3 3 3	1	3 2 2 2 3 3 2 2 2 2 2 2 2 3 3 4 4 4 4 3 3 3 3	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 4 3 3 4 4 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 36 37 41 28 46 35 42 35 35 37 34	147 193 126 147 160 18.1 16.4 16.4 15.5 14.3 15.1 19.3 14.7 17.6 14.7 14.7 14.7
L L L L M M M M M M M M M M M M M M M M	Electrical Meeting Speech L1 Janitor  Hallway 1 Women Restroom FS Rest Room/Janitor Mens Restroom Multi-Purpose Stage/Backstage Backstage Restroom Backstage/Restroom Music Room Music Room Music Room Dessing Room Closet 1 Backstage Closet		02-103838 02-103839	2003 2003 2003 2003 2003 2003 2003 2003	21 21 21 21 21 21 21 21 21 21 21 21 21 2	21 21 21 21 21 21 21 21 21 21 21 21 21 2		2 2 2 2 2 2 2 2 2 1 1 1 1 1 1 1 1 1 1 1	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	2 3 3 2 2 2 3 3 2 2 3 3 3 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		2 2 2 2 2 2 2 3 3 1 1 1 2 2 2 2 2 2 2 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 2 2 2 2 2 2 2 2 3 3 3 5 5 1 1 3 3 2 2 3 2 2 2 2 2 2 2 2 2 2 2 2 2	3 6 2 4 1 1 6 3 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	2 3 3 3 3 3 3 1 1 4 4 3 3 3 6 4 4 6 2 4 4 3	1 1 3 1 1 1 1 1 1 3 3 3 3 1 1 1 2 2 2 3 3 3 3	1	3 2 2 3 3 3 2 2 2 2 3 4 4 4 3 4 1 1 3 3 3 3 3 3 3 3 4 4 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6 6	3 3 3 4 4 3 3 2 2 2 2 2 2 2 2 2 2 2 2 2	46 30 35 38 43 39 26 2 39 37 34 46 37 41 28 46 35 42 35 35 37	14.7 19.3 12.6 14.7 16.0 16.1 16.4 15.5 14.3 15.1 19.3 15.5 14.3 15.1 19.3 14.7 17.6 14.7 14.7 14.7 14.7 14.7 14.7 14.7

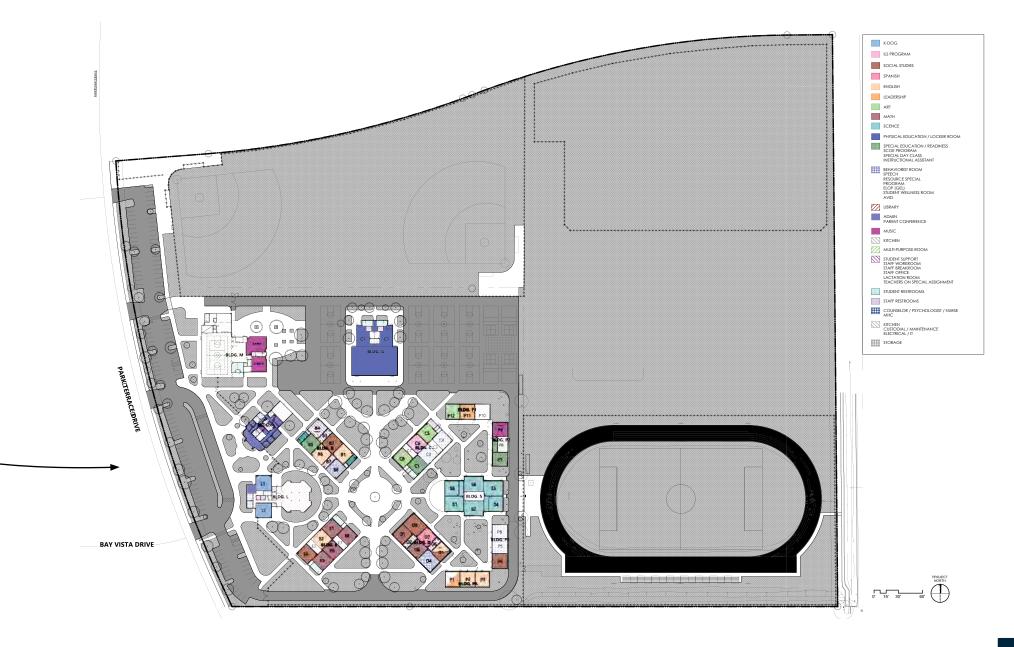


		T.						ı —																				
M	Dry Storage		02-103838	2003	21	21			1	2	3	2	-	2	1	1	2	2	2	-	3	1	1	1	6	2	32	13.4
М	Wet Closet		02-103838	2003	21	21			1	2	3	2	-	1	1	2	2	3	3	-	3	1	1	1	6	2	34	14.3
М	Electrical		02-103838	2003	21	21			1	2	3	2	-	2	1	3	3	4	2	-	-	1	1	1	6	2	34	14.3
M	Student store		02-103838	2003	21	21			1	2	3	2	4	3	1	5	6	6	1	3	3	1	1	1	6	2	51	21.4
M	Switchgear		02-103838	2003	21	21			1	2	6	2	-	2	1	1	-	1	-	-	-	1	1	1	6	2	27	11.3
																										1	1	i
G	GYM	GYM	02-103838	2003	21	21			1	1	3	2	2	1	1	2	2	3	3	-	3	2	1	1	6	2	36	15.1
G	Girls Locker Room	GLR	02-103838	2003	21	21			- 1	- 1	2	2	-	2	1	2	3	3	2	-	3	- 1	1	- 1	6	2	33	13.9
G	Girls Restroom	GRR	02-103838	2003	21	21			- 1	1	3	2	-	1	1	2	3	3	2	-	2	- 1	1	1	6	2	32	13.4
G	Girls Coach	GLR office	02-103838	2003	21	21			- 1	1	2	2	2	1	2	1	2	2	- 1	-	1	- 1	1	1	1	2	24	10.1
G	Staff Restroom	Staff RR	02-103838	2003	21	21			1	1	2	2	-	1	1	1	2	1	1	-	3		1	1	1	2	21	8.8
G	Staff Restroom	Staff RR2	02-103838	2003	21	21			1	1	2	2	-	1	1	2	2	3	1	-	4		1	1	1	2	25	10.5
G	Boys Coach Office	MLR Office	02-103838	2003	21	21			1	1	2	2	2	2	2	2	3	3	2	-	-	1	1	1	1	2	28	11.8
G	Boys Locker Room	MLR	02-103838	2003	21	21			1	1	2	2	-	2	1	2	3	3	2	-	4	1	1	1	6	2	34	14.3
G	Boy Restroom	MRR	02-103838	2003	21	21			1	1	2	2	-	2	1	2	4	3	3	-	4	1	1	1	Mc	2	30	12.6
G	Girls Toilet /Shower	Used for storage?	02-103838	2003	21	21			1	1	2	2	-	1	1	2	2	2	- 1	-	1	3	1	1	6	2	29	12.2
G	Boys Toilet/Shower		02-103838	2003	21	21			1	1	2	2	-	1	1	2	2	2	1	-	1	3	- 1	1	6	2	29	12.2
Misc. / Site		REPAIRS																										
Misc. / Site	Parking Lots	Asphalt Slurry			2017			-	-	2	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-	3	i
Misc. / Site	Blacktops Area	Restriping			2016			-	-	1	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-	1	
Misc. / Site	Exterior Painting				2023			-	-	1	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-	1	i
Misc. / Site	Exterior Painting Portables				2021			-	-	1	-	-	-	-		-	-	-	-	-	-	-	-	-	-	- 1	1	
Misc. / Site	Roofing	Original						-	-	2	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-	2	i
Misc. / Site	Fire & Intrusion System	Original						-	-	-	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-	0	i
Misc. / Site	Refrigerator and Freezer	Freezer Condenser: 2008 Fridge Condenser: 2019			2008/2019			-	- 1	1	1	1	-	-			1	1	- 1	-	1	-	-	-	-	-	8	i
Misc. / Site	Water Fountains							-	-	6	-	-	-	-		-	-	-	-	-	-	-	-	-	-			i
Misc. / Site	Cement Repairs	Ongoing						-	-	-	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-		

### **OBSERVATIONS OF CURRENT FACILITY UTILIZATION**

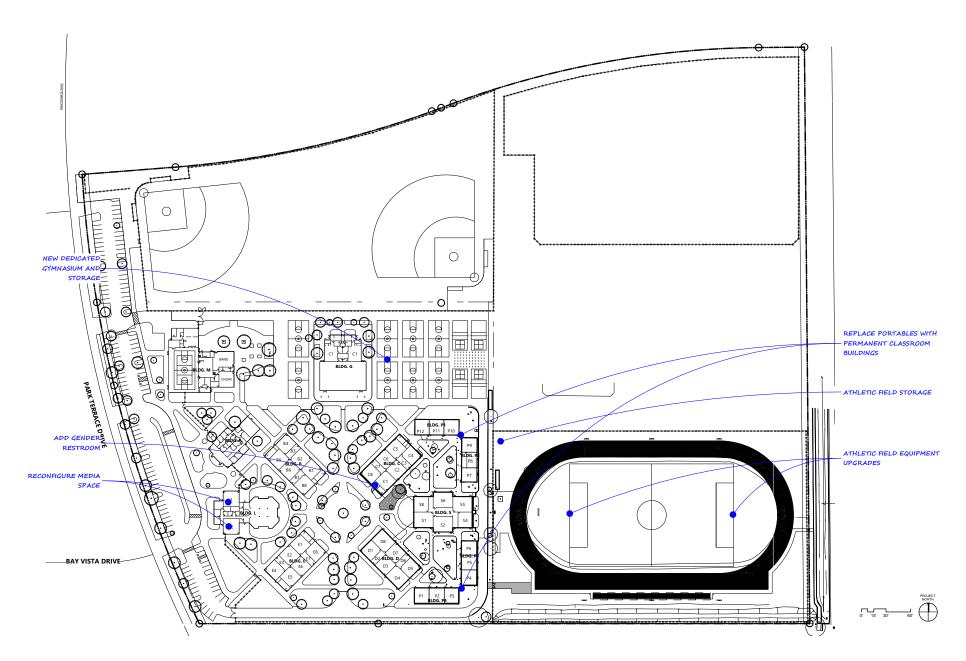
This campus has a Multi-Purpose Room and a dedicated Gymnasium with attached locker and restrooms. The gymnasium building is undersized for the current and future needs of the school and community. There are dedicated music and choir rooms within the Multi-Purpose Room with attached storage spaces. Currently, programs, such as math and social studies, are interspersed throughout different buildings. Campus leadership has expressed the need for a dedicated digital media space and a dedicated art room.

# EXISTING UTILIZATION SITE PLAN





## STAKEHOLDER INPUT



## MAINTENANCE PROJECTS

#### **BUILDING B**

- HVAC replacement within 1 year
- Upgrades/Repairs of all room signage within 3-5 years
- Preventative maintenance of plumbings and lighting fixtures within 1-5 years
- Cosmetic repair of casework within 3-5 years, full replacement within 5-10 years
- Repair/Replace flooring within 5-10 years, Immediate flooring repair at select rooms
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed

#### **BUILDING C**

- HVAC replacement within 1 year
- Repair/Replace flooring within 10-15 years
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed
- Repair/Replace act ceiling within 5-10 years
- Repair/Replace building signage within 3-5 years
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Cosmetic repair of casework within 3-5 years, full replacement within 5-10 years
- Repair/Replace act ceiling within 5-10 years

#### **BUILDING D**

- HVAC replacement within 1 year
- Upgrades/Repair of all room signage within 5-10 years
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Repair/Replace flooring within 5-10 years
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed

#### **BUILDING E**

- HVAC replacement within 1 year
- Upgrades/repair of all room signage within 3-5 years
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Minor repair to act ceiling at select rooms
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed as general maintenance

#### **BUILDING P1-P9**

- HVAC replacement within 1 year
- Immediate fixture repair at select rooms
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 3-5 years
- Wall surface repair in 3-5 years
- Recommend paint doors and patch where needed
- Hvac replacement within 1 year
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 5-10 years
- Wall surface repair in 5-10 years
- Recommend paint doors and patch where needed
- Hvac replacement within 1 year
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 3-5 years, immediate repair at select rooms
- Wall surface repair in 3-5 years
- Recommend paint doors and patch where needed
- Hvac replacement within 1 year
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 5-10 years
- Wall surface repair in 5-10 years
- Recommend paint doors and patch where needed

## MAINTENANCE PROJECTS

#### **BUILDING S**

- HVAC replacement within 1 year
- Minor repair to ceiling at select rooms
- Flooring replacement within 5-10 years
- Minor cosmetic repairs at doors where needed

#### **BUILDING A**

- HVAC replacement within 1 year
- Building signage repair at select rooms
- Minor ceiling repair at select rooms
- Wall surface repair in 5-10 years
- Flooring repair at select rooms within 3-5 years

#### **BUILDING L**

- HVAC replacement within 1 year
- Building signage repair at select rooms
- Minor ceiling repair at select rooms
- Wall surface repair in 5-10 years
- Flooring repair at select rooms within 3-5 years, immediate repair at select rooms

#### **BUILDING M**

- HVAC replacement within 1 year
- Building signage repair at select rooms
- Minor ceiling repair at select rooms
- Wall surface repair in 5-10 years, immediate repair at select rooms
- Window repair/preventative maintenance at select rooms
- Recommend paint doors and patch where needed

#### **BUILDING G**

- HVAC replacement within 1 year
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Wall surface repair in 5-10 years















### GALT JOINT UNION SCHOOL DISTRICT | ROBERT L. MCCAFFREY MIDDLE SCHOOL

### ONE WAY TO ADDRESS THE NEEDS

Some of the most prominent feedback from numerous members of the steering committee was a desire to build a new gymnasium at Robert L. McCaffrey Middle School. This conceptual plan includes the construction of a dedicated gymnasium sized to fit a regulation basketball court to serve the campus basketball team and support external community programs. This proposed gymnasium would be roughly 11,000 square feet and include telescoping bleachers to seat 400 occupants. Contingent upon the construction of a new gymnasium, the existing play areas would be in need of expansion and upgrade. This report suggests the resurfacing of the existing asphalt play areas and application of colored coating to sports courts and play lines. Other upgrades to the school's athletic facilities would include the installation of permanent goal posts to the football field and the addition of dedicated storage equipment for sports and recreational programs.

Campus leadership expressed a goal to replace the school's portable classroom buildings with permanent construction. In doing so, developing dedicated spaces for Art and Ceramics programs. Another program of need is the existing media space in Building L. This master plan recommends the reconfiguration and modernization of these spaces to adapt to modern digital media space needs.

### PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

### **NEW GYMNASIUM**

 New construction of a dedicated gymnasium for school and community program use. +/- 11,000 sf gymnasium to accommodate a regulation basketball court with storage/utility space, including telescoping bleacher to seat 400 occupants.

OPINION OF PROBABLE COST: \$14,020,100

### **CLASSROOM UPGRADES**

Addition of new classroom buildings of permanent construction to be located at the eastern corner
of campus. Two (2) new permanent buildings would house twelve (12) total individual classrooms to
replace the existing relocatable classrooms: P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11 & P12. Project
scope would include associated sitework and landscaping.

OPINION OF PROBABLE COST: \$25,636,700

### **PLAY AREA UPGRADES**

 Expansion of asphalt play area to accommodate sports courts, contingent upon construction of new gymnasium. Project would include the resurfacing of existing hardscape and application of colored asphalt coating to sport courts.

OPINION OF PROBABLE COST: \$2,823,100

### MEDIA ROOM UPGRADES

 Reconfiguration and modernization of existing media rooms within the administration building, (Building L) to provide layout, infrastructure, and equipment for operation of a modern media/ production space.

OPINION OF PROBABLE COST: \$1,852,800

### ATHLETIC FIELD UPGRADES

• Provide and install new athletic field equipment, such as permanent football goal posts and storage containers to support the campus's athletic and recreational programs.

OPINION OF PROBABLE COST: \$58,500

### **GENDER-NEUTRAL RESTROOM**

• Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M).

OPINION OF PROBABLE COST: \$85,900

## PROPOSED MASTER PLAN



















### GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT | ROBERT L. MCCAFFREY MIDDLE SCHOOL

### CONCLUSION

In conclusion, the proposed conceptual plan for Robert L. McCaffrey Middle School addresses several key needs voiced by the steering committee and campus leadership. Foremost among these is the construction of a dedicated gymnasium, to fulfill the long-standing need for a regulation-sized basketball court to support not only the school's athletic teams, but additionally, programs supporting the expanded community of Galt. In doing so, this would open up the existing gymnasium space for adaptive re-use in service of other campus programs yet to be determined.

Furthermore, plans to replace portable classrooms with permanent buildings and add dedicated arts and ceramics spaces reflect a commitment to enhancing academic programs and providing students with modern spaces for learning and curiosity. Upgrades to play areas and athletic facilities aim to improve the overall quality and functionality of recreational spaces campus wide.

Lastly, the reconfiguration and modernization of the existing media space further contributes to supporting the diverse learning environments provided at McCaffrey. By addressing these various aspects, the proposed plan aims to elevate Robert L. McCaffrey Middle School's facilities to better support student learning, athletics, and community engagement.





	VERNON E. GREER ES - OPTION 1			per	Sierra West		
	Projects	bldgs applicable	SF/LF/Unit	\$ pe	r SF/LF/unit		Project Cost
Parking Lot Reconfiguration  1 Site work	Now apphalt parking lot		16,000	ф.	67	¢	1,068,192
2 Site work	New asphalt parking lot Resurfacing/restriping of existing asphalt		26,000		19	ъ \$	495,946
2 Site Work	parking lot		20,000	Ψ	13	Ψ	493,940
	parking tot					\$	1,564,139
Play Area Upgrades							
1 Site work	Regrading/resurfacing		9,400	\$	48	\$	448,259
2 Site work	Landscaping/bioswale		10,000	\$	38	\$	381,497
3 Site work	Playground & equipment		9,200	\$	105	\$	966,000
						\$	1,795,756
Campus Shade Structures							
1 Furnishings	New lunch shelters at outdoor stage		1,600	\$	238	\$	381,497
2 Furnishings	New outdoor furniture at lunch shelters		1,600	\$	67	\$	106,819
3 Furnishings	New shade structures at pick-up/drop-off		1,600	\$	238	\$	381,497
						\$	869,814
Outdoor Learning Spaces							
1 Site work / furnishings	Outdoor learning space (furniture allowance		3,300	\$	67	¢	220,315
	and ground re-surfacing)		3,300	φ	07	φ	220,313
2 Furnishings	New fabric shade structures		1,200	\$	238	\$	286,123
			\$ 506,438		2	\$	1,012,875
Classroom Upgrades							
1 Demolition	Demolish existing portable classrooms	Room 12 - 16	4,000	\$	23	\$	91,559
2 New classroom building (relocatable	•	Room 12 - 16	4,000		858		3,433,475
bldg o/temp foundation)	new portable construction						
3 Demolition	Demolish existing portable classrooms	Room 17 - 18	2,000	\$	23	\$	45,780
4 New classroom building (relocatable		Room 17 - 18	2,000	\$	858		1,716,737
bldg o/temp foundation)	new portable construction						

				IDENTIFIED PROJECT TOTAL			\$	29,122,401
		-					\$	85,837
	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building M	60	\$	1,431	\$	85,837
Ge	nder Neutral Restroom						Ψ	23,733,300
	stag of terrip roundation)	now portable constitution					\$	23,793,980
16	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 35 - 38	4,000	\$	858	\$	3,433,475
15	Demolition	Demolish existing portable classrooms	Room 35 - 38	4,000	\$	23	\$	91,559
14	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 33 - 34	2,000	\$	858	\$	1,716,737
	Demolition	Demolish existing portable classrooms	Room 33 - 34	2,000		23	\$	45,780
12	bldg o/temp foundation)	new portable construction	1100111 23 - 32	4,000	Ψ	030	Ψ	3,433,473
	Demolition  New classroom building (relocatable	Demolish existing portable classrooms  Replace aging portable buildings in-place with	Room 29 - 32	4,000 4,000		23 858	\$ \$	91,559 3,433,475
	bldg o/temp foundation)	new portable construction						
-	New classroom building (relocatable	Replace aging portable buildings in-place with		3,000	•	858		2,575,106
9	Demolition	Demolish existing portable classrooms	Room 27 - 28	3,000	\$	23	\$	68,669
8	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 21 - 26	6,000	\$	858	\$	5,150,212
7	Demolition	Demolish existing portable classrooms	Room 21 - 26	6,000	\$	23		137,339
J	bldg o/temp foundation)	new portable construction	100111 13 - 20	2,000	Ψ	000	Ψ	1,710,707
6	New classroom building (relocatable	Replace aging portable buildings in-place with	Room 19 - 20	2,000	\$	858	\$	1,716,737

VEF	RNON E. GREER ES - OPTION 2			per Sier	ra West		
	Projects	bldgs applicable	SF/LF/Unit	\$ per SF	/LF/unit	F	Project Cost
Parking Lot Reconfiguration							
1 Site work	New asphalt parking lot		16,000		67	•	1,068,192
2 Site work	Resurfacing/restriping of existing asphalt parking lot		26,000	\$	19	\$	495,946
						\$	1,564,139
Play Area Upgrades							
1 Site work	Regrading/resurfacing		9,400	\$	48	\$	448,259
2 Site work	Landscaping/bioswale	south campus	10,000	\$	38	\$	381,497
3 Site work	Landscaping/bioswale	central campus	13,400	\$	38	\$	511,206
4 Site work	Playground & equipment	south campus	9,200	\$	105	\$	966,000
5 Site work	Playground & equipment	central campus	14,700	\$	105	\$	1,543,500
						\$	3,850,463
Campus Shade Structures							
1 Furnishings	New lunch shelters at outdoor stage		1,600	\$	238	\$	381,497
2 Furnishings	New outdoor furniture at lunch shelters		1,600	\$	67	\$	106,819
3 Furnishings	New shade structures at pick-up/drop-off		1,600	\$	238	\$	381,497
						\$	869,814
Outdoor Learning Spaces							
1 Site work / furnishings	Outdoor learning space (furniture allowance and ground re-surfacing)		3,300	\$	67	\$	220,315
2 Furnishings	New shade structures		1,200	\$	238	\$	286,123
G			\$ 506,438		3	\$	1,519,313
							· · · · ·
Classroom Upgrades							
1 Demolition	Demolition of existing portables	Room 12 - 16	4,000		23	•	91,559
<ol> <li>New classroom building (relocatable bldg o/temp foundation)</li> </ol>	Replace portable buildings with new at new location	Room 12 - 16	4,000	\$	858	\$	3,433,475
3 Demolition	Demolition of existing portables	Room 17 - 18	2,000	\$	23	\$	45,780
4 New classroom building (relocatable bldg		Room 17 - 18	2,000	\$	858	\$	1,716,737

5	Demolition	Demolition of existing portables	Room 19 - 20	2,000	\$ 23	\$ 45,780
6	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 19 - 20	2,000	\$ 858	\$ 1,716,737
7	Demolition	Demolition of existing portables	Room 21 - 26	6,000	\$ 23	\$ 137,339
8	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 21 - 26	6,000	\$ 858	\$ 5,150,212
9	Demolition	Demolition of existing portables	Room 27 - 28	3,000	\$ 23	\$ 68,669
10	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 27 - 28	3,000	\$ 858	\$ 2,575,106
11	Site work	Associated site work	Room 12 - 28	22,000	\$ 95	\$ 2,098,235
						\$ 17,079,630
12	Demolition	Demolition of existing portables	Room 29 - 32	4,000	\$ 23	\$ 91,559
13	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 29 - 32	4,000	\$ 858	\$ 3,433,475
14	Demolition	Demolition of existing portables	Room 33 - 34	2,000	\$ 23	\$ 45,780
15	New classroom building (relocatable bldg o/temp foundation)	п	Room 33 - 34	2,000	\$ 858	\$ 1,716,737
16	Demolition	Demolition of existing portables	Room 35 - 38	4,000	\$ 23	\$ 91,559
17	New classroom building (relocatable bldg o/temp foundation)	п	Room 35 - 38	4,000	\$ 858	\$ 3,433,475
18	Site work	Associated site work	Room 29 - 38	35,400	\$ 95	\$ 3,376,250
19	Demolition	Demolition of existing portables toilet rooms		520	\$ 23	\$ 11,903
20	New modular restroom building (relocatable bldg o/temp foundation)			520	\$ 858	\$ 446,352
						\$ 12,647,090



#### **Gender Neutral Restroom**

1 Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building M		60	\$ 1,431	\$ 85,837
. <u>.</u>						\$ 85,837
			IDENTIE	IED PROJECT TOTAL		\$ 37 616 284

# COST ANALYSIS - LAKE CANYON

L	AKE CANYON ELEMENTARY SCHO	OL		þ	er Sierra West	
	Projects	bldgs applicable	SF/LF		\$ per SF/LF	Project Cost
New Restrooms						
1 Existing bldg reconfiguration	New staff restroom in kitchen	Building M	60	\$	1,431	\$ 85,837
2 Existing bldg reconfiguration	New gender neutral student restroom	Building M	60	\$	1,431	\$ 85,837
						\$ 171,674
Outdoor Stage Upgrades						
1 Site work	New fabric sail shade structures		1,600	\$	238	\$ 381,497
2 Furnishings	Seating at outdoor stage		1,600	\$	238	\$ 381,497
						\$ 762,994
Outdoor Learning Space						
1 Site work	New shade structures		1,200	\$	238	\$ 286,123
2 Site work	Outdoor learning space (furniture allowance		1,500	\$	67	\$ 100,143
	and ground re-surfacing)					
						\$ 386,266
Campus Shade Structures						
1 Site work	New shade structures at upper grade play		800	\$	238	\$ 190,749
	structure					
						\$ 190,749

### **Campus-Wide HVAC Replacement - Deferred Maintenance**

1 HVAC Replacement	Replace existing HVAC equipment in-kind;	Building M, Building A, Building	51,000.00 \$	162 \$	8,262,000
with power and structural consider	ment cost includes updates to heating and cooling systems rations, requiring this project to be approved by the Division nined that structural changes aren't required, the estimated	K, Building T1, Building T2, Building C1, C2, C3 & C4, Existing Portables (2)			
		IDENTIFIE	ED PROJECT TOTAL	\$	9.773.683

## COST ANALYSIS - MCCAFFREY

ROBI	ERT L. MCCAFFREY MIDDLE SCH	HOOL		per	Sierra West		
Dlay Ave a Hundrede a	Projects	bldgs applicable	SF/LF/Unit	\$	per SF/LF		Project Cost
Play Area Upgrades  1 Site work	Asphalt play area expansion		26,000	\$	48	\$	1,239,866
2 Site work	Resurface asphalt concrete at play area		38,000	\$	19	\$	724,845
3 Site work	Repaint play and sport court lineswith colore	d	30,000	•	29	\$	858,369
o one work	asphalt cooling coating	u	00,000	Ψ	20	Ψ	000,000
	aspirate seeming seeming					\$	2,823,079
Classroom Upgrades							
1 New classroom building	Replace portable buildings new permanent	Building P1 (P10-P12) &	9,600	\$	1,335	\$	12,818,306
(permanent)	construction	Building P2 (P7-P9)					
2 New classroom building	Replace portable buildings new permanent	Building P3 (P4-P6) & Building	9,600	\$	1,335	\$	12,818,306
(permanent)	construction	P4 (P1-P3)					
						\$	25,636,612
New Gymnasium							
1 New construction	New dedicated gymnasium with telescopic		10,500	\$	1,335	\$	14,020,022
	bleachers - seating 400 & storage building						
2 Site work	New concrete paving as needed		20,000	\$	48	\$	953,743
						\$	14,020,022
Gender Neutral Restroom							
1 Existing building reconfiguration	Convert/add gender neutral restroom at	Building M	60	\$	1,431	\$	85,837
	existing MPR						
						\$	85,837
Media Room Upgrades							
1 Existing building reconfiguration	Reconfigure / Upgrade media space in	Building L	2,200	\$	842	\$	1,852,741
	Building L					\$	1,852,741
						•	, , ,
Athletic Field Upgrades							
1 Site work / furnishings	Installation of permanent goal posts		2	\$	21,750	\$	43,500
2 Furnishings	Storage containers		3	\$	5,000	\$	15,000
						\$	58,500
			IDENTIFIED DROJECT TOTAL			\$	40 004 050
			IDENTIFIED PROJECT TOTAL			ф	42,624,050

# COST ANALYSIS - MARENGO RANCH

	and the second s			- 1		
MAREN	GO RANCH ELEMENTARY SCHO	OOL		per Si	erra West	
	Projects	bldgs applicable	SF/LF	\$ pe	r SF/LF	Project Cost
Classroom Upgrades						
1 Demolition	Demolition existing portable classrooms	Building D (D1-D6)	6,700		23 \$	153,362
<ol> <li>New classroom building (relocatable bldg o/temp foundation)</li> </ol>	Replace 20+ year-old portable buildings in- place with new modular construction	Building D (D1-D6)	6,700	\$	858 \$	5,751,070
2 Demolition	Demolition existing portable classrooms	Building D (Detached meeting	520	\$	23 \$	11,903
<ol> <li>New classroom building (relocatable bldg o/temp foundation)</li> </ol>	Replace 20+ year-old portable buildings in- place with new modular construction	Building D (Detached meeting rooms)	520	\$	858 \$	446,352
3 Demolition	Demolition existing portable classrooms	Building F(F1 - F6)	6,700	\$	23 \$	153,362
3 New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in- place with new modular construction	Building F(F1 - F6)	6,700	\$	858 \$	5,751,070
4 Demolition	Demolition existing portable classrooms	Building I(I1-I3)	3,300	\$	23 \$	75,536
4 New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in- place with new modular construction	Building I(I1-I3)	3,300	\$	858 \$	2,832,617
5 Demolition	Demolition existing portable classrooms	Building I2(I4-I8)	5,200	\$	23 \$	119,027
5 New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in- place with new modular construction	Building I2(I4-I8)	5,200	\$	858 \$	4,463,517
					\$	19,757,816
Play Area Upgrades						
1 Site work	Resurface asphalt concrete at play area		48,000	\$	19 \$	915,593
2 Site work	Repaint play and sport court lineswith colored asphalt cooling coating		20,000	\$	29 \$	572,246
					\$	1,487,839
Outdoor stage						
3 Site work / Existing bldg reconfiguration	Outdoor stage and necessary egress reconfiguration of MPR backstage area	Building B (MPR)	2,000	\$	360 \$	720,000
					\$	720,000

# COST ANALYSIS - MARENGO RANCH

1 Site work	Metal shade structure at existing play areas	1,100 \$	238 \$	262,279
			\$	262,279
Parking Lot Reconfigurati	on			
Parking Lot Reconfiguration  1 Site work	on  New asphalt parking lot	19,000 \$	67 \$	1,268,478

**IDENTIFIED PROJECT TOTAL** 

23,496,413

## COST ANALYSIS - RIVER OAKS

	RIVER OAKS ES				рє	er Sierra West	
	Projects	bldgs applicable	S	F/LF/Unit	\$ p	er SF/LF/unit	Project Cost
Parking Lot Reconfiguration							
1 Site work	New asphalt parking lot			24,000		67	1,602,288
2 Site work	Landscaping/bioswales			16,000	\$	38	\$ 610,396
4 Site work	Resurfacing/restriping of existing asphalt			32,000	\$	19	\$ 610,396
	parking lot - site east						\$ 2,823,079
Campus Shade Structures							
1 Furnishings	New metal shade structures at playgrounds			1,400	\$	238	\$ 333,810
2 Furnishings	New metal shade structures at drop off			2,300	\$	238	\$ 548,402
3 Furnishings	New metal lunch shelter			850		238	\$ 202,670
<b>.</b>					,		\$ 1,084,883
Admin Building Reconfiguration							
1 Existing building reconfiguration	Add additional conference room to existing administration building			500	\$	842	\$ 421,078
							\$ 421,078
Classroom Upgrades							
1 Modernization	Mid-level modernization of existing permanent	Building D		6,300	\$	546	\$ 3,442,917
	classroom buildings: (Finishes, plumbing,						
	HVAC, lighting, P/D/A/V upgrades etc.)						
							\$ 3,442,917
2 Demolition	Demolition of existing portables	Room 14 - 27		8,000	\$	23	\$ 183,119
3 Site work	Site work associated with construction of new			10,000	\$	95	\$ 953,743
	permanent classroom buildings						
4 New construction	Construction of new permanent classroom buildings	Room 14 - 27		6,800	\$	1,431	\$ 9,728,179
			\$	9,728,179	\$	2	\$ 19,456,357

## COST ANALYSIS - RIVER OAKS

6	New classroom building (relocatable bldg o/temp	Replace portable buildings in place with new	Room 38 - 39	2,000	\$ 1,335	\$ 2,670,480
	foundation)					
7	Demolition	Demolish existing portable classrooms	Room 38 - 39	2,000	\$ 23	\$ 45,780
8	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings in place with new	Room 34 - 35	2,000	\$ 1,335	\$ 2,670,480
9	Demolition	Demolish existing portable classrooms	Room 34 - 35	2,000	\$ 23	\$ 45,780
10	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings in place with new	Room 12 - 13	2,000	\$ 1,335	\$ 2,670,480
11	Demolition	Demolish existing portable classrooms	Room 12 - 13	2,000	\$ 23	\$ 45,780
						\$ 8,148,780
Gei	nder Neutral Restroom					
1	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building F	60	\$ 1,430.61	\$ 85,837
						\$ 85,837
			I	IDENTIFIED PROJECT TOTAL		\$ 35,462,931

# COST ANALYSIS - VALLEY OAKS

	VALLEY OAKS ES			per Sierra	West		
	Projects	bldgs applicable	SF/LF/Unit	\$ per SF/LI	F/unit		Project Cost
Parking Lot Reconfiguration							
1 Site work	New asphalt parking lot - site west		5,000		67		333,810
2 Site work	Resurfacing/restriping of existing asphalt		9,000	\$	19	\$	171,674
	parking lot - site west						
3 Site work	New asphalt parking lot - site east		2,000		67	-	133,524
4 Site work	Resurfacing/restriping of existing asphalt		23,000	\$	19	\$	438,722
	parking lot - site east					\$	1,077,730
						Ψ	1,077,700
Play Area Upgrades							
1 Site work	Resurface asphalt concrete at play area		90,000		20	-	1,800,000
2 Site work	Repaint play and sport court lineswith colored		16,000	\$	20	\$	320,000
	asphalt cooling coating						
3 Site work	Upgrade upper grade play area		3,200	\$	105	\$	336,000
4 Furnishings	New metal shade structures		1,600	\$	168	\$	268,800
						\$	2,724,800
Outdoor Learning Spaces							
1 Site work / furnishings	Outdoor learning space (furniture allowance		3,500	¢	237	\$	829,500
	and ground re-surfacing)		3,300	Ψ	237	Ψ	029,300
2 Furnishings	New fabric shade structures		1,200	\$	215	\$	258,000
						\$	1,087,500
Administration Building Expansion							
1 New construction / addition	Expansion of existing administration building	Building B	1,000	\$	1,284	\$	1,284,000
1 New construction, addition	to include staff breakroom, staff workroom &	Dulluling D	1,000	Ψ	1,204	Ψ	1,204,000
	gender neutral restroom						
	-						
2 Modernization / reconfiguration	Reconfiguration of existing administration	Building B	2,800	\$	860	\$	2,408,000
	building as appropriate to acoommodate for						
	current programmatic needs						

3 Site work

### COST ANALYSIS - VALLEY OAKS

New concrete paving/regrading as necessary Building B

3,692,000 **Classroom Upgrades** 10,000 \$ 5,540,000 1 Modernization Mid-level modernization of existing permanent Building A 554 \$ classroom buildings: (Finishes, plumbing, HVAC, lighting, P/D/A/V upgrades etc.) 2 Modernization Mid-level modernization **Building C** 10.000 \$ 554 \$ 5.540.000 3 Modernization Mid-level modernization **Building E** 8,800 \$ 554 \$ 4,875,200 Demolition Demolition of existing portables Room 7 - 10 5.600 \$ 20 \$ 112,000 5 New classroom building (relocatable Replace portable buildings with new in place Room 7 - 10 5.600 \$ 858 \$ 4,804,800 bldg o/temp foundation) Demolition Demolition of existing portables Room 12 - 13 2,800 \$ 20 \$ 56,000 7 New classroom building (relocatable Replace portable buildings with new in place Room 12 - 13 2,800 \$ 858 \$ 2,402,400 bldg o/temp foundation) Demolition of existing portables Demolition Room 19 - 21 3,200 \$ 20 \$ 64,000 858 \$ New classroom building (relocatable Replace portable buildings with new in place Room 19 - 21 3,200 \$ 2,745,600 bldg o/temp foundation) 10 Demolition Demolition of existing portables Room 22 - 25 5,700 \$ 20 \$ 114,000 858 \$ 11 New classroom building (relocatable Replace portable buildings with new in place Room 22 - 25 5,700 \$ 4,890,600 bldg o/temp foundation) 12 Demolition Demolition of existing portables Room 26 - 27 3,000 \$ 20 \$ 60,000 858 \$ 13 New classroom building (relocatable Replace portable buildings with new in place Room 26 - 27 3.000 \$ 2,574,000 bldg o/temp foundation) 14 Demolition Demolition of existing portables Room 28 - 30 2.800 \$ 20 \$ 56,000 15 New classroom building (relocatable Replace portable buildings with new in place Room 28 - 30 2,800 \$ 858 \$ 2,402,400 bldg o/temp foundation) 16 Demolition 20 \$ Demolition of existing portables Room 42 - 43 2.900 \$ 58,000

2.000 \$

50 \$

100,000



### GALT JOINT UNION SCHOOL DISTRICT

## COST ANALYSIS - VALLEY OAKS

17 New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 42 - 43	2,900	\$ 858	\$ 2,488,200
					\$ 38,783,200
Gender Neutral Restroom  1 Existing building reconfiguration	Convert/add gender neutral restroom at	Building F	60	\$ 1,431	\$ 85,837
	existing MPR	•			
					\$ 85,837

# **COST ANALYSIS - FAIRSITE**

	FAIRSITE LEARNING CENTER			per S	ierra West		
	Projects	bldgs applicable	SF/LF/Unit	\$ per	SF/LF/unit	F	Project Cost
Parking Lot Reconfiguration							
1 Site work	New asphalt parking lot along east property		7,400	\$	67	\$	494,03
	line						
2 Site work	Resurfacing/restriping of existing asphalt		24,300	\$	19	\$	463,53
	parking lot - site east						
3 Demolition	Demolition of existing portable	Room 22	1,000	\$	23	\$	22,89
						\$	980,44
Outdoor Learning Spaces							
1 Site work	Outdoor looming areas (outdoor furniture		3,400	\$	67	\$	226,9
	Outdoor learning space (outdoor furniture						
	allowance and ground re-surfacing)						
2 Furnishings	New fabric shade structures		1,200	\$	238	\$	286,1
3 Site work	Regrading / resurfacing asphalt concrete as		6,300	\$	48	\$	300,4
	needed						
						\$	813,54
lew Admin Building							
1 Demolition	Remove existing Admin portable	Office	500	\$	23	\$	11,44
2 Demolition	Remove existing classroom portables	Room 15 - 18	4,000	\$	23	\$	91,5
	(requires interim replacement on site)		•	·			,
3 Site work	New/regrade concrete paving		14,000	\$	48	\$	667,6
4 New construction	Construction of new Administration building						,
	at south-east campus		4,000	\$	1,240	\$	4,959,4
5 Site work	New fencing as needed (per concept plan, site	<u>.</u>					
	wide)		300	\$	525	\$	157,36
6 Site work	New pedestrian gate		1	\$	12,589	\$	12,5
			_		,. 30	\$	5,900,04

**Classroom Upgrades** 

# **COST ANALYSIS - FAIRSITE**

1	Modernization	Mid-level modernization of existing permane classroom buildings: (Finishes, plumbing, HVAC, lighting, P/D/A/V upgrades etc.)	nt Preschool	2,000	\$ 546	\$ 1,092,989
2	Modernization	Mid-level modernization	Building A	3,500	\$ 546	\$ 1,912,732
3	Modernization	Mid-level modernization	Building A.2	6,800	\$ 546	\$ 3,716,164
4	Modernization	Mid-level modernization	Building B	4,500	\$ 546	\$ 2,459,226
5	Modernization	Mid-level modernization	Building C	2,800	\$ 546	\$ 1,530,185
Ne	w Classroom Buildings					
7	Demolition	Demolition of existing portables	Rooms 25, 26, 27, 28, 29, 30, 32,34, & 36	9,000	\$ 23	\$ 206,008
8	Site work	Estimated site work associated with construction of new permanent classroom buildings		25,000	\$ 95	\$ 2,384,358
9	New construction	Construction of new permanent classroom buildings		12,000	\$ 1,240	\$ 14,878,391
						\$ 17,468,757
			IDENTIF	TED PROJECT TOTAL		\$ 35,874,089



