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GALT

JOINT UNION ELEMENTARY SCHOOL DISTRICT

2024 DISTRICT
FACILITIES MASTER PLAN

GALT JOINT UNION
ELEMENTARY SCHOOL
DISTRICT



2024
**FACILITIES
MASTER PLAN**

ACKNOWLEDGMENTS

GALT JUESD SCHOOL PRINCIPALS

Carlos Castillo, Robert L. McCaffrey Middle School

Tina Homdus, River Oaks Elementary School

Jennifer Porter, Marengo Ranch Elementary School

Laura Marquez, Fairsite Elementary and Early Learning Center

David Nelson, Valley Oaks Elementary School

Stephanie Simonich, Vernon E. Greer Elementary School

Judi Hayes, Lake Canyon Elementary School

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GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT

01 | EXECUTIVE

SUMMARY



DISTRICT OVERVIEW

The Galt Joint Union Elementary School District includes six (6) elementary schools and one (1) middle school. They serve approximately 3,550 students in grades Preschool through 8th. The district employs approximately 550 staff members and is the largest employer in the City of Galt with a population of approximately 26,000. The District serves a very diverse population of students, in which they provide many programs to support the needs of their community. They emphasize learning experiences to support their students strengths, talents and interests including social and emotional support initiatives. They offer a wide range of programs including preschool, music, Dual Language Immersion, and after school expanded learning program.

ELEMENTARY SCHOOLS

Vernon E Greer Elementary School - 248 W A St, Galt, CA 95632
Lake Canyon Elementary School - 800 Lake Canyon Ave, Galt, CA 95632
Marengo Ranch Elementary School - 1000 Elk Hills Dr, Galt, CA 95632
River Oaks Elementary School - 905 Vintage Oak Ave, Galt, CA 95632
Valley Oaks Elementary School - 21 C St, Galt, CA 95632
Fairsite Elementary & Early Learning Center - 902 Caroline Ave, Galt, CA 95632

MIDDLE SCHOOLS

Robert L McCaffrey Middle School - 997 Park Terrace Dr, Galt, CA 95632





GUIDING PRINCIPLES

VISION

Our school create safe learning environments that provide equitable access to engaging opportunities for all children. We foster learning environments for collaboration, creativity, and critical thinking to ensure children are successful in their future.

MISSION

The mission of our school district is to promote growth and achievement through innovative educational programs that integrate personal strengths, social, emotional and academic learning for all children.

LCAP GOALS

LOCAL CONTROL ACCOUNTABILITY PLAN

2023 LCAP Goals:

1. Engaging the PreK-grade 8 learner through a focus on equity, access, and academic rigor with inclusive practices in a variety of environments.
2. Providing PreK-8 whole learner development through social and emotional learning opportunities in a variety of safe and supportive environments.

STUDENT SUCCESS

To enable academic and social success, all GJUESD students will demonstrate growth in these attributes:

- Acquire and effectively apply knowledge
- Positive outlook
- Skills needed for goal setting
- Positive relationships
- Responsible decisions



FACILITIES MASTER PLAN PURPOSE

The Galt Joint Union Elementary School District Master Plan is a comprehensive road map to the facilities strategies that will support the mission and objectives of the district. This Facilities Master Plan (FMP) outlines a strategic framework to achieve educational and programmatic objectives within the constraints of existing properties and financial projections.

The plan addresses critical areas the creation of outdoor learning spaces, new shade, addition of gender-neutral restrooms, and the replacement of aging structures (relocatable buildings) and ensuring equity across all campuses. The Master Plan identifies strategies and implementation priorities for the new construction, modernization, and site work necessary to fulfill the District's standard educational requirements for their Pre-school - 8 students. The plan provides flexibility for the future and includes repair, replacement, or upgrade of existing assets to match the expected performance of new construction. The Master Plan also recognizes the District's LCAP goals and understands, they would like expanded learning and summer services that prioritize learning acceleration for learners in Pre-school - 8, continue to develop and expand dual language immersion (DLI) programs for preschool-kindergarten and increase Career Technical Education (CTE) and art programs. Throughout the planning process, common themes emerged from the data collected from users, campus administration, and executive leadership describing high-level, joint needs and goals across the district.

COMMON OBJECTIVES DISTRICT-WIDE

- Develop outdoor learning spaces for teaching, recreation, and curricular activities
- Provide shade structures throughout all school sites
- Modernization of aging facilities
- Need for additional parking & traffic flow reconfiguration
- Critical need to replace portables which are operating far beyond their lifespan
- Gender-neutral restrooms & inclusive spaces (special education, calming rooms, teacher/student wellness rooms)
- Upgrades to student play structures
- Provide improvements performing arts program spaces: storage, outdoor stages

This Master Plan not only acts as a strategic road map for future developments but also supports informed decision-making and a practical action plan. Along with an objective assessment of the quality and capacity of the existing facilities, the District will have a continuous basis for planning, allocating facility resources, and anticipating future educational needs. It ensures that Galt Joint Union Elementary School District will continue to offer premier educational facilities that align with both curricular and strategic objectives, thereby supporting the best possible educational outcomes for all students.



FACILITIES MASTER PLAN PROCESS

FACILITIES ASSESSMENT

19six Architects met with District representatives to strategize the process and then visited each of the sites to document the entire campus to determine the priority of needs. Each building on each campus was evaluated for condition and campus-specific strengths, issues and challenges were documented and brought back to the steering committee to discuss as a team. Sites were evaluated considering parking, traffic flow for drop off and pick up, adequacy of hard court and turf play areas, site drainage, adequacy of shade, and site accessibility. The District also provided archive information and facilities roofing and HVAC replacement information as well as recommendations for the Architect's use.

EVALUATION AND PLANNING

In addition to individual site assessments, the District and the Architect facilitated stakeholder meetings for both staff and community representatives for each school. Additionally, information was gathered by faculty, parents, and stakeholder input through a series of surveys to determine the needs of each site. Based upon the results of the Facilities Assessment and discussions with project stakeholders regarding campus goals, the Architect developed Conceptual Site Plans. In the Facilities Assessment phase, the team identified buildings which required little or no work, buildings which required minor modernization, buildings which required major modernization, and buildings recommended for demolition. These were identified on the Concept Site Plans and any new structures or other improvements incorporated into the proposed ultimate design. The District met with stakeholders from each campus to evaluate the proposed site plans and reconvened with the architects to discuss feedback. Refined Schematic Site Plans and related Preliminary Project Budgets related to the proposed scope were prepared and brought to the committee for review and discussion. 19six Architects worked with the District and staff throughout this process to ensure that the recommendations are in alignment.

PRIORITIZATION

Initial planning was performed to identify all needs and from a broad perspective consider goals and strategies with the unconstrained mindset of "What if we could do everything needed or wanted?" Then considering the estimated budgets associated with the resulting ideas, the team began a process of determining which projects and proposals were most important in alignment with the district's priorities and objectives. The goal was to create a prioritized list, overall and by campus, and draw a line on the list where projects met or did not meet the district's priorities and objectives.

BOND PLANS

The District sent out surveys to the residents of Galt testing the waters to see if they should go out for a bond in November 2024. The district reported back that the surveys came back positive and supportive of a bond. The Board will make the final decision if they go out for a bond this year.



LEVELS OF MODERNIZATION

The following describes scope of the varying levels of modernization to take place at campus facilities, as identified in the conceptual planning phase later in this document.

LIGHT MODERNIZATION OF EXISTING BUILDING

- Protect (E) Conditions
- Interior Paint
- Replace Flooring - Non Wet Areas
- New Tackable Walls - (2) Walls
- Replace HVAC Equipment - In Kind
- Replace Building/ Site EMS/ BMS
- Replace Building/ Site Fire Alarm
- Replace Building/ Site PA/ Clock/ Bell

MID LEVEL MODERNIZATION OF EXISTING BUILDING

- Protect (E) Conditions
- Interior Partitions
- Interior Doors
- Interior Finishes
- Misc. Specialties (casework, program, etc)
- Plumbing
- Replace HVAC Equipment - In Kind
- Add - HVAC Distribution
- Replace Building/ Site EMS/ BMS
- Lighting
- Power - Convenience Only
- Data - 6 drops per room
- Audio/ Visual/ Technology
- Replace Building/ Site Fire Alarm
- Replace Building/ Site PA/ Clock/ Bell

FULL MODERNIZATION OF EXISTING BUILDING

- Protect (E) Conditions
- Structural/ Seismic Mandates
- New Exterior Fenestations/ Finishes
- Interior Partitions
- Interior Doors
- Interior Finishes
- Misc. Specialties (casework, program, etc)
- Fire Protection
- Plumbing
- Replace HVAC Equipment - In Kind
- Add - HVAC Distribution
- Replace Building/ Site EMS/ BMS
- Lighting
- Power - Convenience Only
- Data - 6 drops per room
- Audio/ Visual/ Technology
- Replace Building/ Site Fire Alarm
- Replace Building/ Site PA/ Clock/ Bell
- Replace Building/ Site PA/ Clock/ Bell

A group of elementary school students are working in a garden bed. They are kneeling on the ground, which is covered with mulch and some rocks. One student is holding a small green plant. In the background, there are some large rocks and a small pond. The text "GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT" is overlaid on the right side of the image.

GALT JOINT

UNION ELEMENTARY
SCHOOL DISTRICT

02 | CONDITION ASSESSMENTS



CONDITION ASSESSMENT: SUMMARY

A pivotal aspect of the FMP data collection process entails conducting thorough site observations and assessing the existing conditions. This assessment initiative commences with gaining insight into the current campus layout and the utilization of existing spaces. The assessments serve the dual purpose of determining the feasibility of modifying or repurposing buildings or spaces to accommodate present or future functions, as well as estimating the costs associated with modernization or repurposing efforts. Furthermore, these assessments may provide justification for the removal of buildings or sections thereof to facilitate new construction projects. The process included site walks and drawing review by electrical engineers, as well as the architectural team. Following a comprehensive review of existing blueprints and As-Built documents provided by the District, our team developed utilization plans to document an inventory of spaces, their functionalities, dimensions, configurations, and spatial relationships. Physical inspections were also conducted to evaluate the overall condition of facilities and sites.

The condition assessment process examined all school site facilities, evaluating the site against key areas such as:

- Accessibility: high-level observations of restrooms, casework, doors, walkways, etc.
- Building Exterior: Doors, windows, roof quality, painting, etc.
- Building Interior: Interior finish materials (paint, ceilings, for example)
- Building Security: Single-point-of-entry, access control hardware
- Electrical: Power adequacy/availability
- Mechanical: Heating, Ventilating and Air Conditioning systems
- Aesthetics

These components were organized in a matrix, that also includes the each building's age, year of the last modernization, and an overall scoring. The evaluations resulting from these assessments were instrumental in shaping campus development options and estimating costs related to site and facility enhancements.

SITE INVENTORY

This comparison chart outlines the 2023-2024 student and staff population and the current utilization of school facilities, including quantity and area allotment by program. The intent of this matrix is to itemize the programs provided on a campus-by-campus basis to assist in identifying current and future needs as the student demographic and curriculum continues to evolve.

	FAIRSITE ES	VERNON E GREER ES	LAKE CANYON ES	MARENGO RANCH ES	RIVER OAKS ES	VALLEY OAKS ES	MCCAFFREY MS
	284 Students 62 Administrators/Teachers	528 Students 75 Administrators/Teachers	463 Students 66 Administrators/Teachers	475 Students 65 Administrators/Teachers	518 Students 79 Administrators/Teachers	514 Students 73 Administrators/Teachers	768 Students 82 Administrators/Teachers
STAFF & STUDENT RESOURCES							
1 DUAL-LANGUAGE IMMERSION CLASS	-	-	-	-	-	-	1 [1,257 SF]
2 AVID (PROGRAM, RESOURCES)	-	-	-	-	-	-	-
3 SPECIAL ED / I/A'S	3 [914 SF, 1,209 SF, 1,224 SF]	6 [951 SF, 950 SF, 970 SF, 970 SF, 970 SF]	1 [965 SF]	1 [939 SF]	1 [970 SF] (IA), 6 [900 SF, 965 SF, 1000 SF, 945 SF, 150 SF]	3 [860 SF, 868 SF, 864 SF] (Sp. Ed.)	8 [988 SF, 382 SF, 957 SF, 1,008 SF, 920 SF, 406 SF, 1,003 SF, 970 SF] / 1 [979 SF]
4 (RSP) RESOURCE SPECIAL PROGRAM	-	-	1 [980 SF]	2 [939 SF, 964 SF]	1 [970 SF]	3 [819 SF, 415 SF, 862 SF]	-
5 OCCUPATIONAL THERAPY	-	-	-	-	-	-	-
6 PSYCHOLOGIST	1 [800 SF]	1 [224 SF]	-	1 [115 SF]	1 [119 SF]	-	-
7 COUNSELOR / SOCIAL WORKER	1 [950 SF]	2 [230 SF, 630 SF]	-	2 [116 SF, 956 SF]	1 [970 SF] / 1 [970 SF]	1 [862 SF]	1 [200 SF]
8 BEHAVIOR TECHNICIANS AND BEHAVIOR ANALYSTS	-	-	-	1 [862 SF]	-	-	-
9 NURSE ROOM/HEALTH OFFICE	1 [800 SF]	1 [150 SF]	1 [237 SF]	1 [198 SF]	1 [255 SF]	1 [Need As-Built Draw]	1 [207 SF]
10 SPEECH	1 [886 SF]	1 [760 SF]	1 [965 SF]	1 [960 SF]	2 [84 SF, 84 SF]	1 [833.81 SF]	1 [969 SF]
11 SPECIAL DAY CLASS (MCCAFFREY ONLY)	-	-	-	-	-	-	1 [832 SF]
12 SCHOOL RESOURCE OFFICER	-	-	-	-	-	-	-
13 ESL /ELL (ENGLISH SECOND LANGUAGE/ENGLISH LANGUAGE LEARNERS)	-	-	-	1 [1,022 SF]	1 [960 SF]	-	-
14 CALMING ROOM	-	-	-	-	-	-	-
15 BEHAVIORIST	-	-	-	1 [945 SF]	-	-	-
16 EXPANDED LEARNING	1 [920 SF]	3 [984 SF, 991 SF, 981 SF]	-	3 [1,022 SF, 1,022 SF, 1,022 SF]	-	1 [394 SF]	3 [944 SF, 944 SF, 962 SF]
17 TOSA (TEACHER ON SPECIAL ASSIGNMENT)	-	-	1 [965 SF]	-	1 [992 SF]	1 [320 SF]	-
18 IAS (LEARNING ASSESSMENT SYSTEM)	-	-	-	-	-	1 [862 SF]	-
19 CURRICULUM	-	-	-	-	1 [960 SF]	1 [363 SF]	-
SHARED SPACES & AMENITIES							
20 GRADE 1-8 STUDENT RESTROOMS	-	6 [280 SF, 280 SF, 126 SF, 235 SF, 235 SF, 235 SF]	6 [214 SF, 214 SF, 238 SF, 323 SF, 287 SF, 263 SF]	10 [200 SF, 200 SF, 200 SF, 200 SF, 239 SF, 239 SF, 58 SF, 58 SF, 207 SF, 207 SF]	9 [239 SF, 239 SF, 158 SF, 224 SF, 159 SF, 217 SF, 64 SF, 187 SF, 187 SF]	6 [233 SF, 233 SF, 149 SF, 149 SF, 175 SF, 175 SF]	10 [279 SF, 316 SF, 225 SF, 190 SF, 303 SF, 279 SF, 152 SF, 65 SF, 170 SF, 170 SF]
21 STUDENT GENDER NEUTRAL RESTROOMS	-	-	-	1 [51 SF]	3 [97 SF, 68 SF, 72 SF]	-	-
22 STAFF RESTROOMS	1 [123 SF]	6 [60 SF, 60 SF, 126 SF, 126 SF, 225 SF, 225 SF]	4 [167 SF, 167 SF, 70 SF, 70 SF]	5 [75 SF, 75 SF, 75 SF, 75 SF, 120 SF]	3 [48 SF, 45 SF, 82 SF]	5 [40 SF, 40 SF, 57 SF, 120 SF, 120 SF]	10 [60 SF, 60 SF, 145 SF, 145 SF, 92 SF, 92 SF, 150 SF, 150 SF, 122 SF, 122 SF]
23 STAFF WELLNESS SPACES	-	-	-	-	1 [960 SF]	-	-
24 STUDENT WELLNESS SPACE	-	-	-	-	-	-	1 [974 SF]
25 CONFERENCE ROOMS	1 [108 SF]	1 [426 SF]	1 [262 SF]	1 [784 SF]	-	1 [246 SF]	-
26 ADMIN BUILDING	1 [1,848 SF]	1 [5,124 SF]	1 [4,638 SF]	1 [2,708 SF]	1 [2,577 SF]	1 [5,624 SF]	1 [5,339 SF]
27 STAFF WORKROOM / PODS	3 [2,703 SF]	2 [426 SF, 331 SF]	5 [260 SF, 450 SF, 450 SF, 450 SF, 450 SF]	5 [359 SF, 359 SF, 727 SF, 214 SF, 371 SF]	1 [528 SF]	7 [861 SF, 956 SF, 120 SF, 120 SF, 341 SF, 349 SF, 956 SF]	1 [1,005 SF]
28 STAFF KITCHEN RESTROOM	-	1 [105 SF]	-	1 [784 SF]	1 [95 SF]	1 [57 SF]	1 [116 SF]
CLASSROOM SPACES							
29 PRESCHOOL CLASSROOMS	9 [974 SF, 974 SF, 1,216 SF, 1,216 SF, 1,037 SF, 984 SF, 1,030 SF, 952 SF, 937 SF]	-	-	-	-	-	-
30 PRESCHOOL STORAGE/POD	2 [123 SF, 82 SF]	-	-	-	-	-	-
31 SPED CLASSROOMS	4 [914 SF, 914 SF, 1,209 SF, 1,224 SF]	6 [951 SF, 950 SF, 970 SF, 970 SF, 970 SF]	2 [948 SF, 960 SF]	1 [939 SF]	1 [970 SF] (IA), 6 [900 SF, 965 SF, 1000 SF, 945 SF, 150 SF]	3 [860 SF, 868 SF, 864 SF] (Sp. Ed.)	8 [988 SF, 382 SF, 957 SF, 1,008 SF, 920 SF, 406 SF, 1,003 SF, 970 SF] / 1 [979 SF]
32 TK/PRESCHOOL /SPED PRESCHOOL PLAYGROUND	1 [1,820 SF]	-	-	-	-	-	-
33 KINDERGARTEN CLASSROOMS	-	3 [1,121 SF, 1,121 SF, 1,169 SF]	2 [1,601 SF, 1601 SF]	3 [1,330 SF, 1330 SF, 1,000 SF]	2 [1,358 SF, 1,358 SF]	4 [4,365 SF]	-
34 KINDERGARTEN OFFICE/POD	-	1 [497 SF]	1 [470 SF]	1 [214 SF]	2 [228 SF, 183 SF]	-	-
35 KINDERGARTEN/PRESCHOOL/SPED PRESCHOOL RESTROOMS	12 [84 SF, 84 SF, 84 SF, 84 SF, 84 SF, 84 SF, 84 SF, 147 SF, 121 SF, 139 SF]	4 [60 SF, 60 SF, 60 SF, 60 SF]	2 [49 SF, 49 SF]	2 [54 SF, 54 SF]	2 [46 SF, 46 SF]	2 [69 SF, 69 SF]	-
36 STANDARD CLASSROOMS GRADES 1 THRU 8	-	19	19	17	18	17	25 [985 SF, 981 SF, 940 SF, 1,005 SF, 960 SF, 977 SF, 1,238 SF, 967 SF, 451 SF, 466 SF, 1,257 SF, 977 SF, 978 SF, 1,007 SF, 956 SF, 987 SF, 968 SF, 1,002 SF, 920 SF, 921 SF, 1,003 SF, 984 SF, 974 SF, 1,013 SF, 978 SF]
37 GRADE 1	-	3 [933 SF, 915 SF, 956 SF]	3 [938 SF, 933 SF, 960 SF]	3 [955 SF, 955 SF, 967 SF]	3 [964 SF, 934 SF, 968 SF]	3 [760 SF, 863 SF, 766 SF]	-
38 GRADE 2	-	4 [960 SF, 960 SF, 960 SF, 960 SF]	5 [959 SF, 950 SF, 960 SF, 948 SF, 948 SF, 948 SF]	3 [1,000 SF, 967 SF, 943 SF]	4 [987 SF, 965 SF, 971 SF, 960 SF]	3 [807 SF, 788 SF, 1,332 SF]	-
39 GRADE 3	-	4 [960 SF, 960 SF, 960 SF, 960 SF]	3 [972 SF, 948 SF, 948 SF]	3 [973 SF, 967 SF, 967 SF]	3 [900 SF, 900 SF, 963 SF]	3 [807 SF, 853 SF, 844 SF]	-
40 GRADE 4	-	2 [960 SF, 960 SF]	3 [948 SF, 948 SF, 948 SF]	2 [1,028 SF, 978 SF]	3 [984 SF, 951 SF, 974 SF]	2 [861 SF, 830 SF]	-
41 GRADE 5	-	4 [952 SF, 960 SF, 960 SF, 960 SF]	3 [960 SF, 931 SF, 950 SF]	2 [978 SF, 1,007 SF]	2 [900 SF, 1,012 SF]	3 [869 SF, 857 SF, 793 SF]	-
42 GRADE 6	-	2 [960 SF, 960 SF]	2 [965 SF, 954 SF]	3 [963 SF, 962 SF, 962 SF]	3 [900 SF, 900 SF, 900 SF]	3 [850 SF, 865 SF, 870 SF]	-
43 GRADE 7	-	-	-	-	-	-	-
44 GRADE 8	-	-	-	-	-	-	-
45 READING ROOM	-	-	-	2 [967 SF, 967 SF]	-	-	-

SITE INVENTORY AND CDE STANDARDS

Overall the school site have adequately sized spaces for the program that offers and the focus of this FMP is to replace aging classrooms to bring them up to district standards across all campuses.

	FAIRSITE ES	VERNON E GREER ES	LAKE CANYON ES	MARENGO RANCH ES	RIVER OAKS ES	VALLEY OAKS ES	MCCAFFREY MS
ROOM TYPE	284 Students 62 Administrators/Teachers	528 Students 75 Administrators/Teachers	463 Students 66 Administrators/Teachers	475 Students 65 Administrators/Teachers	518 Students 79 Administrators/Teachers	514 Students 73 Administrators/Teachers	768 Students 82 Administrators/Teachers
EXTRA-CURRICULAR							
44 T-K PLAYGROUND	-	1 (8,321 SF)	-	-	-	-	-
45 KINDER PLAYGROUND	1 (4,096 SF)	SHARED WITH T-K	1 (1,133 SF)	1 (1,360 SF)	1 (16,872 SF)	1 (1,010 SF)	-
46 SPORTS FIELD (SOCCER, BASEBALL, TRACK)	1 (15,248 SF)	-	1 (70,946 SF)	2 (156,561 SF)	1 (126,169 SF)	1 (135,829 SF)	772,757 SF
47 UNDEVELOPED FIELD	1 (50,263 SF)	2 (61,662 SF)	-	-	-	-	-
48 UPPER GRADE PLAYGROUND	-	-	-	1 (52,770 SF)	2 (28,567 SF, 29, 511 SF)	1 (5,439 SF)	62,092 SF
49 ELEMENTARY SCHOOL BLACKTOP	-	-	1 (38,277 SF)	-	-	1 (58,423 SF)	-
49 FOREIGN LANGUAGE	-	-	-	-	-	-	1 (967 SF)
50 MUSIC/BAND ROOM/CHOIR	-	1 (1,945 SF)	1 (893 SF)	1 (891 SF)	1 (1,886 SF)	1 (862 SF)	3 (938 SF, 2699.04 SF)
51 CAREER TECHNICAL EDUCATION (MCCAFFREY ONLY)	-	-	-	-	-	-	1 (1,257 SF)
52 COMPUTER LAB/MAKER SPACE	-	-	1 (296 SF)	1 (772 SF)	-	1 (472 SF)	-
52 ART ROOM	-	-	-	-	-	-	1 (932 SF)
53 LIBRARY	1 (932 SF)	1 (2,950 SF)	1 (2,988 SF)	1 (2,935 SF)	1 (2,050 SF)	1 (2,028 SF)	1 (6,825 SF)
54 K-DOG/MEDIA ROOM (MCCAFFREY ONLY)	-	-	-	-	-	-	1 (1,071 SF)
55 MULTI-PURPOSE ROOM (MPR)	1 (2,142 SF)	1 (5,931 SF)	1 (9,060 SF)	1 (4,446 SF)	1 (4,396 SF)	1 (6,563 SF)	1 (10,552 SF)
56 GYM	-	1 (5,931 SF)	1 (9,060 SF)	1 (4,446 SF)	-	-	1 (5,510 SF)
57 PE CLASSROOM	-	2 (982 SF)	1 (960 SF)	1 (1,000 SF)	-	1 (806 SF)	-
58 OUTDOOR LEARNING SPACES	-	-	-	-	-	-	-
59 STAGE/BACKSTAGE	-	1 (2,201 SF)	1 (960 SF)	1 (2,340 SF)	1 (1,929 SF)	1 (1,447 SF)	-
60 KITCHEN / KITCHEN STORAGE / DRY STORAGE	1 (440 SF)	1 (1,550 SF)	1 (1,220 SF)	1 (1,731 SF)	1 (2,015 SF)	1 (1,011 SF)	1 (2,321 SF)
60 SCHOOL READINESS CENTER	1 (1,504 SF)	-	-	-	-	-	-
UTILITIES							
61 ELECTRICAL ROOM	2 (201 SF, 124 SF)	2 (70 SF, 70 SF)	1 (134 SF)	2 (195 SF, 300 SF)	4 (112 SF, 135 SF, 50 SF, 83 SF)	1 (142 SF)	6 (66 SF, 73 SF, 68 SF, 46 SF, 73 SF, 75 SF)
62 MECHANICAL ROOM	2 (30 SF, 30 SF)	2 (70 SF, 70 SF)	1 (134 SF)	1 (118 SF)	1 (118 SF)	1 (142 SF)	1 (142 SF)
63 CUSTODIAN ROOM	2 (108 SF, 108 SF)	3 (70 SF, 70 SF, 70 SF)	5 (45 SF, 67 SF, 28 SF, 52 SF, 52 SF)	1 (275 SF)	2 (143 SF, 82 SF)	3 (109 SF, 140 SF, 67 SF)	6 (78 SF, 78 SF, 130 SF, 76 SF, 57 SF, 65 SF)
64 DATA / SERVER ROOM	1 (INCLUDED IN ADMIN BUILDING)	-	1 (INCLUDED IN LIBRARY)	2 (INCLUDED IN LIBRARY, BUILDING C)	1 (INCLUDED IN ADMIN)	1 (INCLUDED IN LIBRARY)	1 (INCLUDED IN LIBRARY BUILDING)
64 IDF	1 (INCLUDED IN ADMIN BUILDING)	3 (1 IN RM 18, 1 IN RM 35, 1 IN LIBRARY)	5 (C1, C2, C3, C4, MPR)	5 (BLDG C, F1, H, I-1, I-4)	4 (BLDG D, RM 24, RM 32, MPR)	5 (RM 12, RM 13, RM 17, RM 3, MPR)	5 (BLDG A, BLDG B, BLDG C, BLDG L, MPR, P9, PREP ROOM)
65 MAIL ROOM	1 (INCLUDED IN ADMIN BUILDING)	-	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN ADMIN)	-	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN ADMIN BUILDING)
66 CUSTODIAN OFFICE	-	-	-	-	-	1 (129 SF)	1 (129 SF)
67 FIRE RISER	1 (INCLUDED IN STORAGE)	1 (INCLUDED IN MPR)	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN BUILDING B)	1 (INCLUDED IN BUILDING B)	1 (INCLUDED IN MPR)	2 (INCLUDED IN LIBRARY, BLDG M)
67 FIRE PANEL	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN LIBRARY)	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN LIBRARY)	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN ADMIN BUILDING)	1 (INCLUDED IN LIBRARY)
68 STORAGE	4 (40 SF, 874 SF, 874 SF, 45 SF)	7 (200 SF, 56 SF, 69 SF, 45 SF, 197 SF, 70 SF)	7 (75 SF, 75 SF, 44 SF, 53 SF, 27 SF, 45 SF, 134 SF)	8 (963 SF, 114 SF, 1,022 SF, 154 SF, 149 SF, 125 SF, 102 SF, 102 SF)	9 (143 SF, 78 SF, 62 SF, 158 SF, 112 SF, 94 SF, 121 SF, 116 SF, 151 SF)	4 (216 SF, 139 SF, 109 SF, 92 SF)	4 (148 SF, 99 SF, 120 SF, 265 SF)

The following guidelines for space standards described by the California Department of Education

K-6 Educational Standards

460-560 Students (75/stream + T-K and margin)

	Size
Transitional Kindergarten	1,350 SF
Kindergarten	1,350 SF
Grades 1st-3rd	960 SF
Grades 4th-6th	960 SF
Special Ed/IA	240 SF
(RSP) Resource Special Program	240 SF
Psychologist	240 SF
Counselor / Social Worker	240 SF
Speech	240 SF
ESL	240 SF

7-8 Educational Standards

525-560 Students

	Size
Classrooms	960 SF
Art	1,200 SF
Science	1,400 SF
Music	2,000 SF
Drama	2,000 SF
Shop/Fab Lab	1,500 SF
Psychologist	240 SF
Counselor / Social Worker	240 SF
Speech	240 SF
ESL	240 SF

CONDITION ASSESSMENT: PHOTOS



Roofs aging and dirty



Casework showing signs of damage



Large holes on walls exposing internals



Large cracks appearing on concrete paths



Small storage closet exterior damage



Exterior walls show signs of age and wear



Water damage on ceiling tiles



Ceilings showing signs of damage



Exposed wall internals

CONDITION ASSESSMENT: PHOTOS (CONTINUED)





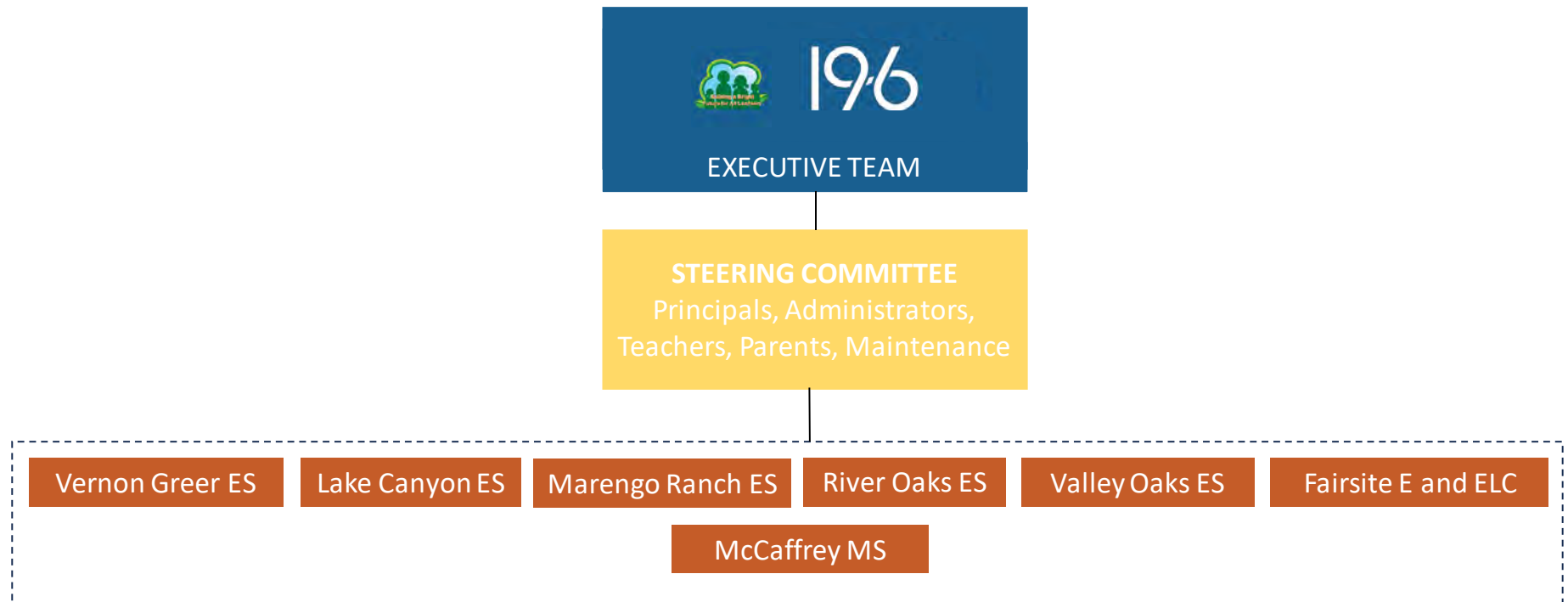
GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT

03 | STAKEHOLDER
ENGAGEMENT



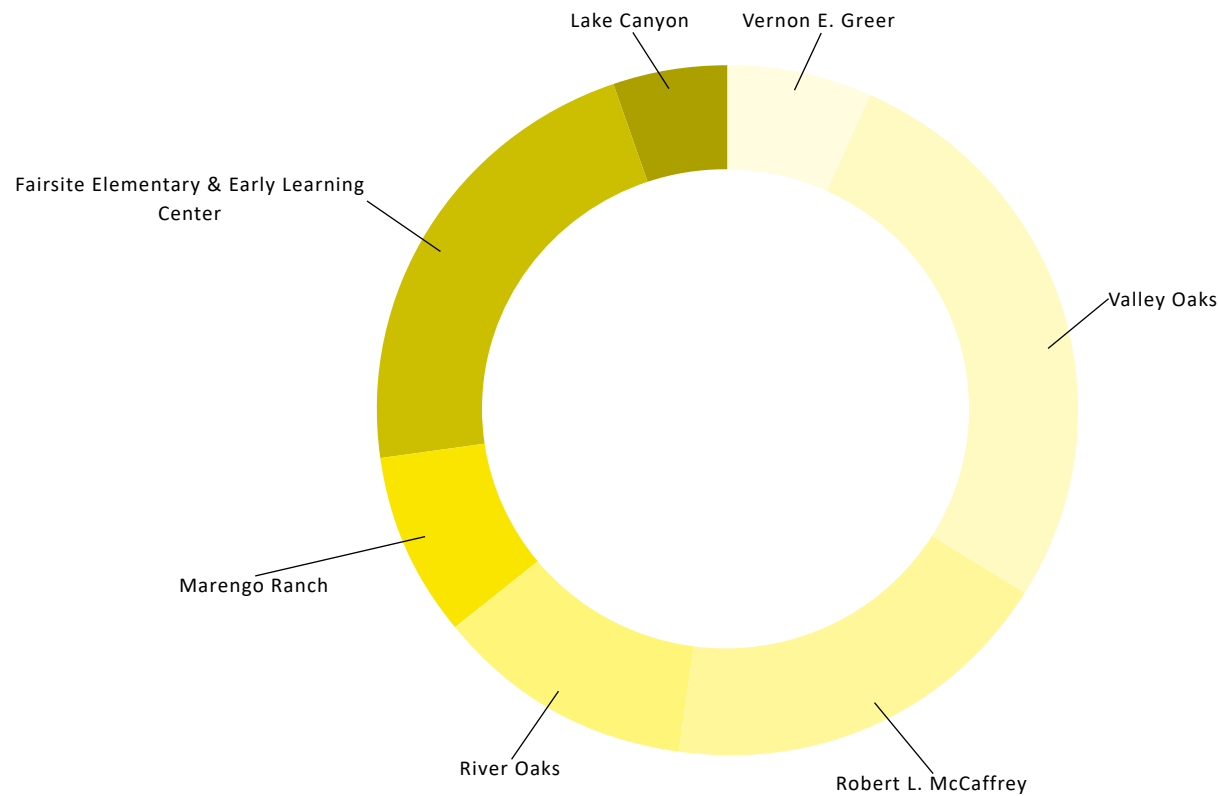
STAKEHOLDER ENGAGEMENT SURVEYS

The communication flow chart below depicts the established channels at the outset of the planning process. The Executive Team, consisting of Lois Yount, District Superintendent, Alejandra Garibay, Chief Business Officer (CBO), and Stan Sagert, District Maintenance, and 19six Architects, held regular meetings and check-ins to ensure the timely progression of tasks and milestones of the Facilities Master Plan (FMP). Additionally, 19six presented progress updates and initial findings to the FMP Steering Committee, comprised primarily of campus principals and teachers. This committee played a crucial role in offering input and aiding in understanding each school's unique needs, priorities, and the development of conceptual plans. In addition, early feedback from the broader user groups to include parents, teachers, and members of the community, was collected through a user engagement survey conducted by 19six. Feedback received was well-balanced amongst campus staff and parents or guardians.



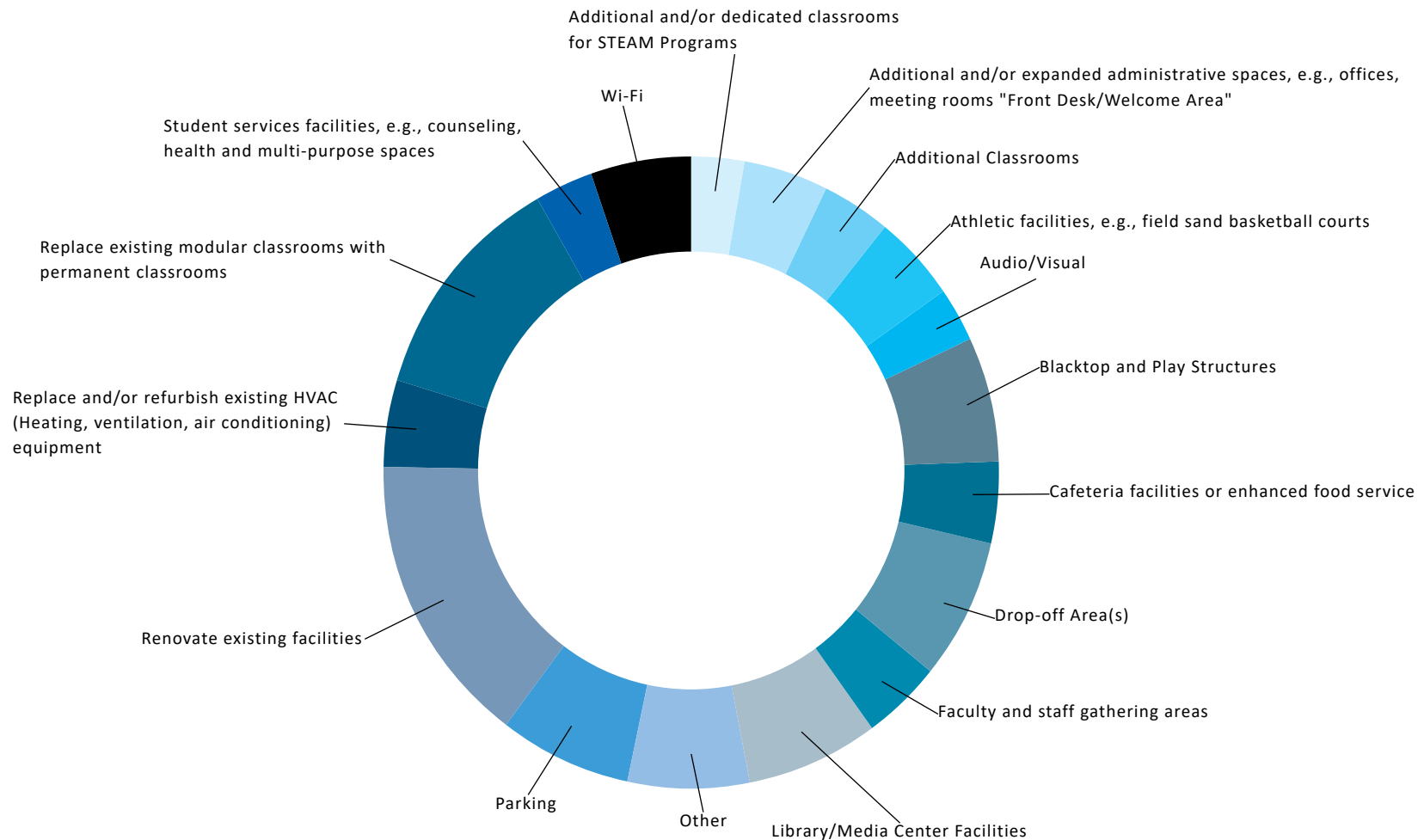
STAKEHOLDER ENGAGEMENT SURVEYS (CONTINUED)

Question: Campus I primarily use.



STAKEHOLDER ENGAGEMENT SURVEYS (CONTINUED)

Question: What do you think are the District's greatest needs, at this time?



The background image shows a school carnival on a grassy field under a clear blue sky. In the foreground, three young women are laughing and talking. One is wearing a pink shirt, another a black shirt with a graphic, and the third a grey shirt. They are surrounded by other students in the background. There are several red and white striped tents and a colorful inflatable archway with the word 'Carnival' on it. The overall atmosphere is festive and social.

GALT JOINT

UNION ELEMENTARY
SCHOOL DISTRICT

04 | SCHOOL SITE

NEEDS & PLANNING



VERNON
E. GREER
ELEMENTARY



SCHOOL DATA

248 West A Street, Galt, CA 95632



Year Built: 1992

Modernizations and
Campus Additions: 2016, 2017, 2021, 2023

Acreage : 14.78 Acres

Current Enrollment: 528

Total Classroom Spaces:	K-3RD	14
	4TH-6TH	7
	Special Ed	6
	ELOP	5
	Additional	2
	Total	34

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

The Vernon E. Greer Elementary School campus is located at 248 West A Street, Galt, CA. The campus is bounded at the north by West A Street, at the east by Greer Basin Park and Fumasi Drive, and by private residences at its southern and western boundaries, along Sasha Rose Drive and Sargent Avenue. The site is a relatively rectangular, 14.8-acre site that is oriented along a north-south axis parallel to Fumasi Drive. The school's campus is comprised of four permanent buildings housing Administration, Kindergarten through first grade classrooms, the campus library, or Bright Future Learning Center, and a multi-purpose room. The existing permanent buildings line the northern perimeter of the site and take prominence at the campus frontage. All remaining classroom buildings, housing second through sixth grade, are of relocatable construction and currently positioned at the western and southern areas of the site. The majority of these buildings frame a tree-lined central campus "quad", landscaped with paved walkways, and an expansive green way. At the time of the assessment, the campus has no dedicated recreation fields, but lies adjacent to the community Greer Basin Park. There are two blacktop play areas with play lines and sport courts at the southern end of the site, each abutting its own playground. There are two parking lots with ingress and egress from West A Street. The north parking lot currently houses twenty-three parking stalls, of which three appeared to be designated by the campus for ADA use. There is paved pedestrian circulation between the visitor parking lot and the school's main entrance. The second parking lot is located to the east of the administrative building and contains a passenger drop-off area, staff parking, and visitor parking.

BUILDINGS

Vernon E. Greer Elementary School was originally constructed in 1992 with subsequent alterations completed since its construction. The addition of the classroom Building C, which houses kindergarten through first grade classrooms, was constructed in 2009. Generally, the construction of the original school buildings consists of wood framing, metal framed dual-pane windows, exterior stucco with stucco trim, and steel columns, and concrete slab flooring. The building materials for the portable classroom buildings include plywood siding and wood trim, exterior concrete at the front of the classrooms and metal framed dual-pane windows. All the campus's buildings are detached. The roofs of the permanent buildings appeared to be in acceptable condition at the time of the assessment, following their recent replacement on select buildings. It is recommended that select HVAC roof top units undergo immediate repair for continued use. The majority of the portable classroom buildings' roofs appear to be in acceptable condition and would likely only warrant minor repairs at this time. It is recommended that portable classroom buildings 17, 18, 19 and 20 be considered for immediate replacement. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. It was observed that student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements. In general, door hardware at classroom buildings includes lock-sets lockable from either side, demonstrating intent for continued campus-wide security.

PROGRAM SPACES

Modernized and expanded instructional and support spaces are recommended throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, shade structures, add gender neutral student restroom, redevelop play areas reconfigure parking lots to gain additional staff and visitor spaces, etc. Staff and community at this campus have expressed the desire for additional/ supplemental program spaces as well as the modernization of existing facilities.



Water damage has affected the ceiling tiles



Cracks appearing on concrete



Exposed insulation and safety hazards



Poor quality of construction/maintenance



Cracks appearing on ramp walkways

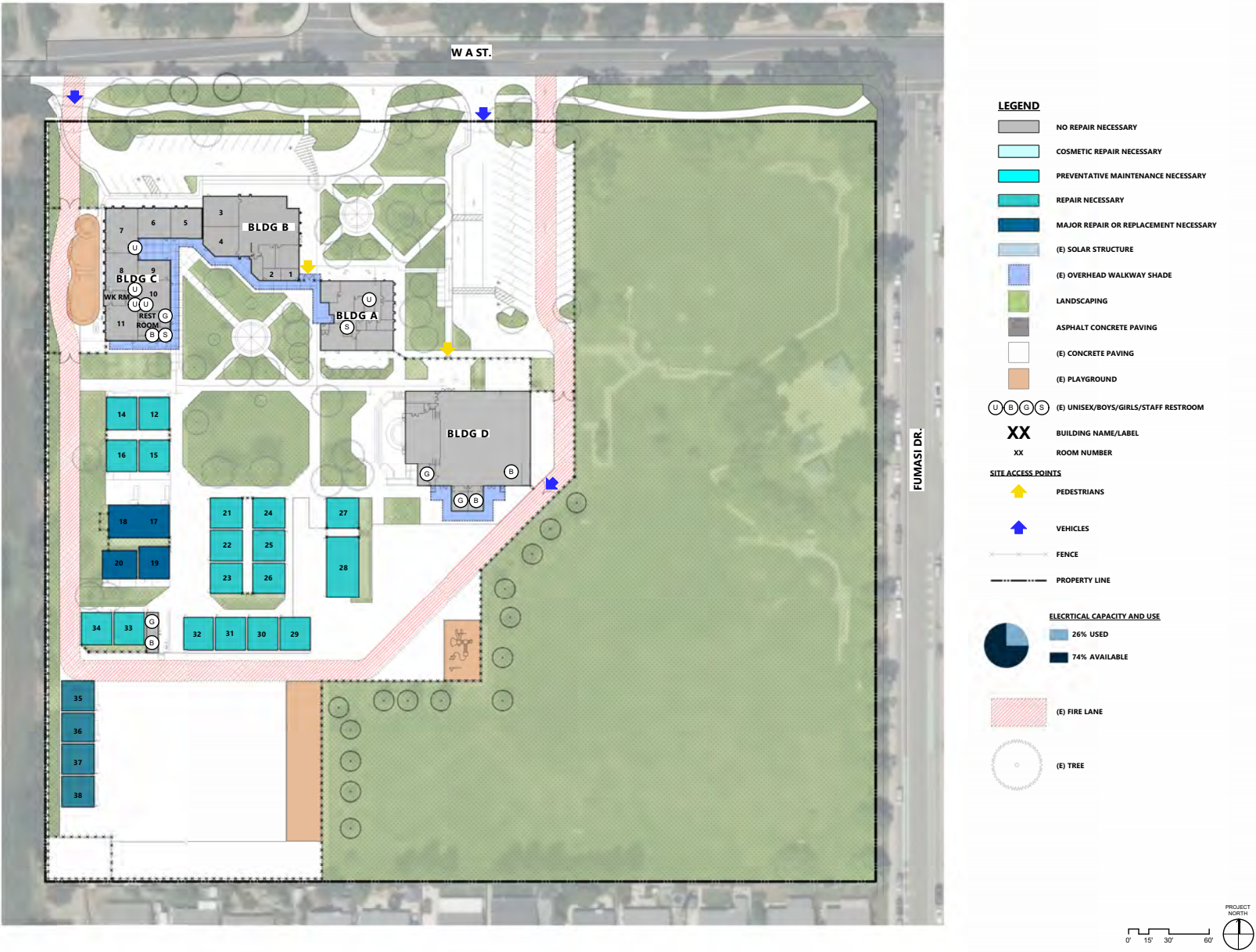


Missing or damaged ceiling tile



Large gaps/cracks appearing on asphalt

ASSESSMENT SITE PLAN



GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT																												FACILITY ASSESSMENT			
Vernon E. Greer ELEMENTARY SCHOOL																															
<div>This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.</div>																															
<div><div>Rating Key</div><div><div>1=</div><div>no repair necessary</div></div><div><div>2=</div><div>cosmetic repair necessary</div></div><div><div>3=</div><div>preventative maintenance necessary</div></div><div><div>4=</div><div>repair necessary</div></div><div><div>5=</div><div>repair necessary for use past 2 years</div></div><div><div>6=</div><div>major repair needed for immediate continued use</div></div></div>																															
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE MOD	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	FURNITURE	WALL FINISHES	FLOOR	WALLS	CEILING	CASEWORK	FIXTURES	ACOUS	EXT PAINT	SIGNAGE	HVAC	AESTH	SUM	PRIORITY FACTOR	
B	Bright Future Learning Center	Main Library	#52888	1992	31	4					1	2	3	3	2	2	2	2	2	3	3	4	3	2	1	4	5	3	47	3.8	
B	Room 1	Office 1 (open)	#52888	1992	31	4					1	2	3	3	2	2	2	2	2	3	4	6	3	1	1	4	5	4	50	4.0	
B	Room 2	Office Conf Rm (Lisa Pino)	#52888	1992	31	4					1	2	3	3	3	2	2	2	2	3	3	1	2	1	1	4	5	3	43	3.4	
B	Room 3	PD Room (Classroom)	#52888	1992	31	4					1	2	2	3	0	2	2	2	2	3	2	3	4	1	1	4	1	3	38	3.0	
B	POD	Storage/It	#52888	1992	31	4					1	2	3	3	0	1	2	3	4	4	4	3	3	4	1	4	5	3	50	4.0	
B	Room 4	1st Grade	#52888	1992	31	4					1	2	3	3	0	1	2	2	3	3	3	3	1	2	2	1	4	1	3	37	3.0
C	Boys Restroom		02-110621	2009	14	4					1	1	2	3	0	1	1	2	3	3	2	3	2	1	1	3	3	3	35	2.8	
C	Girls Restroom		02-110621	2009	14	4					1	1	2	3	0	1	1	2	2	3	2	0	3	1	1	3	3	3	32	2.6	
C	Janitor		02-110621	2009	14	4					1	1	2	3	0	1	1	2	2	3	3	0	3	1	1	3	3	3	33	2.6	
C	Room 5	1st Grade	02-110621	2009	14	4					1	1	3	3	2	2	1	1	2	2	2	3	2	2	1	3	1	3	35	2.8	
C	Room 6	1st Grade	02-110621	2009	14	4					1	1	2	3	2	2	1	2	3	3	3	3	3	2	1	3	2	3	40	3.2	
C	Room 7 RR		02-110621	2009	14	4					1	1	2	3	0	1	1	1	1	1	1	0	3	1	1	2	3	2	25	2.0	
C	Room 7	Kindergarten	02-110621	2009	14	4					1	1	3	3	3	2	1	1	3	2	3	2	3	2	1	2	3	3	39	3.1	
C	Room 8/11 Corr		02-110621	2009	14	4					1	1	0	3	0	1	1	2	1	3	3	1	3	1	1	3	4	3	32	2.6	
C	Room 8 RR		02-110621	2009	14	4					1	1	2	3	0	1	1	1	1	1	2	0	2	1	1	3	4	2	27	2.2	
C	Room 8	Kindergarten	02-110621	2009	14	4					1	1	2	3	2	1	1	1	2	2	3	1	2	1	1	2	6	2	34	2.7	
C	Room 9	MHC	02-110621	2009	14	4					1	1	2	3	2	1	1	2	3	3	3	2	2	1	1	2	1	3	34	2.7	
C	Room 10 RR	SCOE	02-110621	2009	14	4					1	1	3	3	0	1	1	2	3	2	1	0	2	1	1	3	1	2	28		

2024 DISTRICT FACILITIES MASTER PLAN

OBSERVATIONS OF CURRENT FACILITY UTILIZATION

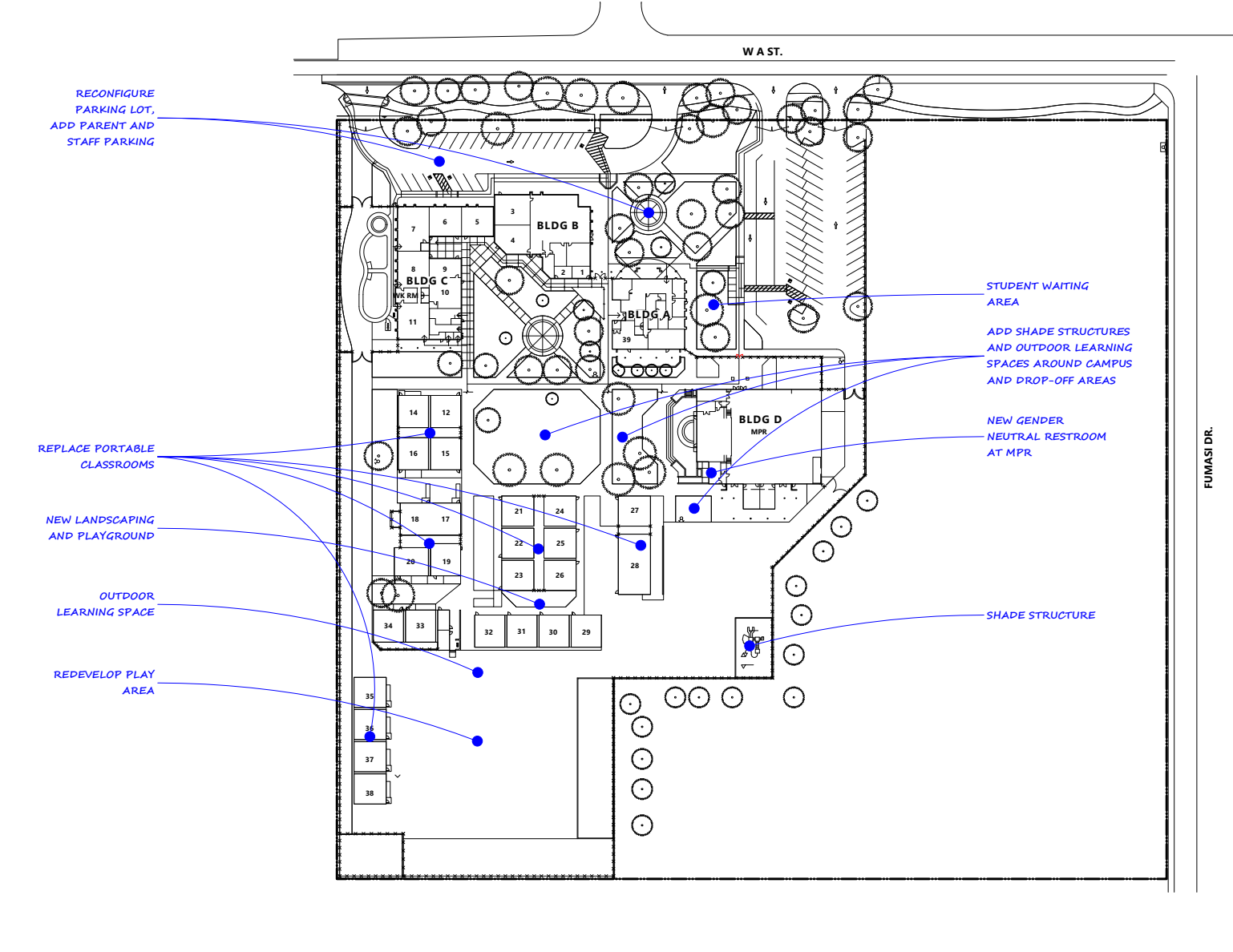
Classrooms serving like grades are generally grouped within close proximity of one another. This school has a dedicated music space and outdoor amphitheater. The Bright Future Learning Center is located at the front of campus with easy access for after school use.

EXISTING UTILIZATION SITE PLAN





STAKEHOLDER INPUT





MAINTENANCE PROJECTS

BUILDING B

- Paint and patch doors as general maintenance, update hardware in next 7 years
- General roof maintenance needed, replace in next 5-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- Maintenance/minor repair of acoustic tile in next 15-20 years
- Damaged casework, replacement recommended within next 3 years
- Update outdated fixtures where necessary

BUILDING C

- General roof maintenance needed, replace in next 5-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- Update outdated fixtures where necessary
- HVAC system replacement recommended in next 1-5 years

BUILDING D

- Paint and patch doors as general maintenance, update hardware in next 5 years
- General surface repair of wall finishes in next 5 years
- General surface repair of floors in next 5-7 years
- Repair and maintenance of walls recommended within next 5-7 years
- HVAC system replacement recommended in next 1-5 years

ROOMS 21-26

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- Maintenance/minor repair of acoustic tile in next 15-20 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC system replacement recommended in next 1-5 years

ROOMS 17-19

- Aging windows, repair or replace in next 7-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- Maintenance/repair of acoustic tile in next 6-10 years
- Outdated casework, replacement recommended within next 7 years

- HVAC System replacement recommended in next 1-5 years

ROOMS 12 and 14

- Repair and maintenance of walls recommended within next 7-10 years
- Maintenance/minor repair of acoustic tile in next 15-20 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary

ROOMS 33-34

- General surface repair of floors in next 5-7 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

ROOMS 29-32

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- Updated outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

ROOMS 35-38

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 7-10 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended within next year

BUILDING A

- General surface repair of floors in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary



ONE WAY TO ADDRESS THE NEEDS

During the planning exercise, 19six has provided two options for the future development of Vernon E. Greer ES, portrayed in subsequent conceptual plans. From an operational perspective, the campus facilities are sized appropriately for their current programmatic needs, however, the relocatable learning spaces are outdated and in need of replacement. Another need identified is one for an expanded and reconfigured parking lot and pick-up/drop-off area. Staff and visitors are currently limited by their current parking lot footprints and an underutilized campus entry plaza provides room for expansion of the western lot.

While the campus has numerous mature trees, there was an expressed need for shade structures and seating areas site wide. Our proposed plan includes shade structures at existing playgrounds, pick-up/drop-off areas, the outdoor stage, and in proposed Outdoor Learning Spaces that would include seating and workspaces for outdoor teaching. Among these improvements, the campus users identified a desire for a re-developed outdoor play area and leisure space, with greenways and updated play equipment and seating. Both proposed master plans provide this at a different area of site.

The key difference between two proposed master plan options for Vernon E. Greer Elementary School are the locations of the portable buildings to be replaced. Option 1 includes the replacement of each portable classroom building to be in-kind and in-place. This would allow for the incremental replacement of portables in pairs without the requirement of extensive sitework. Option 2 proposes the redistribution of these portables at new locations at the south of campus. This would open the campus center for greenways, play areas, and learning spaces. This concept establishes a secure perimeter of classroom buildings and a sense of visibility inward, toward the campus center, to be populated by student activity.

OPTION ONE:

1. Reconfigure parking lot, adding parent parking and relocating and expanding existing staff parking
2. Provide shade structures at lunch and play areas
3. Redevelop play area at the southern end of campus, adding landscaped hang-out spaces and providing room for an outdoor learning space
4. Outdoor learning spaces (2)
5. New lunch shelters (2)
6. Add new single-user gender-neutral restroom at MPR
7. Replace portable classrooms in place, providing for convenient, sequential replacement without significant site intervention
8. Provide a shaded seating area at the campus's existing outdoor stage

OPTION TWO:

1. Reconfigure parking lot, adding parent parking and relocating and expanding existing staff parking
2. Provide shade structures at lunch and play areas
3. Outdoor learning spaces (3)
4. Add new single-user gender-neutral restroom at MPR
5. Provide shaded seating area at outdoor stage
6. Replace and relocate portable classrooms to frame campus at campus south
7. Provide new playground & landscaped areas at campus center
8. Portable replacement/relocation & associated sitework

PROPOSED PROJECT LIST - OPTION 1

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

PARKING LOT RECONFIGURATION

- Improvements and expansion of existing parking lot and drop-off areas to accomodate growing need for staff and visitor parking while improving efficiency of car and bus circulation. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$1,564,200

CAMPUS SHADE STRUCTURES

- Provide new metal shade structures at existing playgrounds, outdoor lunch seating area, and student drop-off/pick-up areas, and outdoor stage.

OPINION OF PROBABLE COST: \$869,900

PLAY AREA UPGRADES

- Provide in-kind replacement of existing play equipment at the upper grade play structure and develop new dedicated landscaped recreation area at south of site. Includes allowance for equipment and associated site work.

OPINION OF PROBABLE COST: \$1,795,800

OUTDOOR LEARNING SPACES

- This project would bring to campus two (2) dedicated outdoor learning spaces, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$1,012,900

PORTABLE CLASSROOM REPLACEMENT

- Sequenced in-kind replacement of the campus's aging relocatable classrooms: rooms 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37 & 38.

OPINION OF PROBABLE COST: \$23,794,000

GENDER-NEUTRAL RESTROOM

- Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M).

OPINION OF PROBABLE COST: \$85,900

PROPOSED MASTER PLAN - OPTION 1



LEGEND

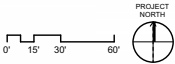
- DEFERRED MAINTENANCE ITEMS
- LIGHT MODERNIZATION
- REPURPOSE, RECONFIGURATION FOR NEW PROGRAM, OR FULL MODERNIZATION
- NEW CONSTRUCTION
- PORTABLE REPLACEMENT
- NEW METAL SHADE STRUCTURE
- NEW SAIL SHADE STRUCTURE
- OUTDOOR LEARNING CLASSROOM
- (E) OVERHEAD WALKWAY SHADE
- LANDSCAPING
- (E) PAVING
- SITE WORK/RECONFIGURATION
- PAVING, RESEAL, & STRIPING OF ASPHALT/HARDSCAPE
- (E) PLAYGROUND
- NEW OR IMPROVEMENTS AT PLAYGROUND

(U) (B) (G) (S) (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM

SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- (E) FENCE
- FENCING REPAIRS/NEW FENCE/GATES
- PROPERTY LINE
- (E) TREE
- (N) TREE

TOTAL ACREAGE +/- 14



PROPOSED PROJECT LIST - OPTION 2

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

PARKING LOT RECONFIGURATION

- Improvements and expansion of existing parking lot and drop-off areas to accomodate growing need for staff and visitor parking while improving efficiency of car and bus circulation. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$1,564,200

CAMPUS SHADE STRUCTURES

- Provide new metal shade structures at existing playgrounds, outdoor lunch seating area, and student drop-off/pick-up areas, and outdoor stage.

OPINION OF PROBABLE COST: \$869,900

PLAY AREA UPGRADES

- Provide in-kind replacement of existing play equipment at the upper grade play structure and develop new dedicated landscaped recreation area at the site's center, contingent upon the relocation of existing portable classrooms. Includes allowance for equipment and associated site work.

OPINION OF PROBABLE COST: \$3,850,500

OUTDOOR LEARNING SPACES

- This project would bring to campus three (3) dedicated outdoor learning spaces, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$3,120,300

CLASSROOM REPLACEMENT / RELOCATION

- Sequenced in-kind replacement of the campus's aging relocatable classrooms at new area aligning to the southern perimeters of site to create a centralized campus courtyard and recreation area. Rooms impacted: 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37 & 38. Project scope includes associated sitework and utilities.

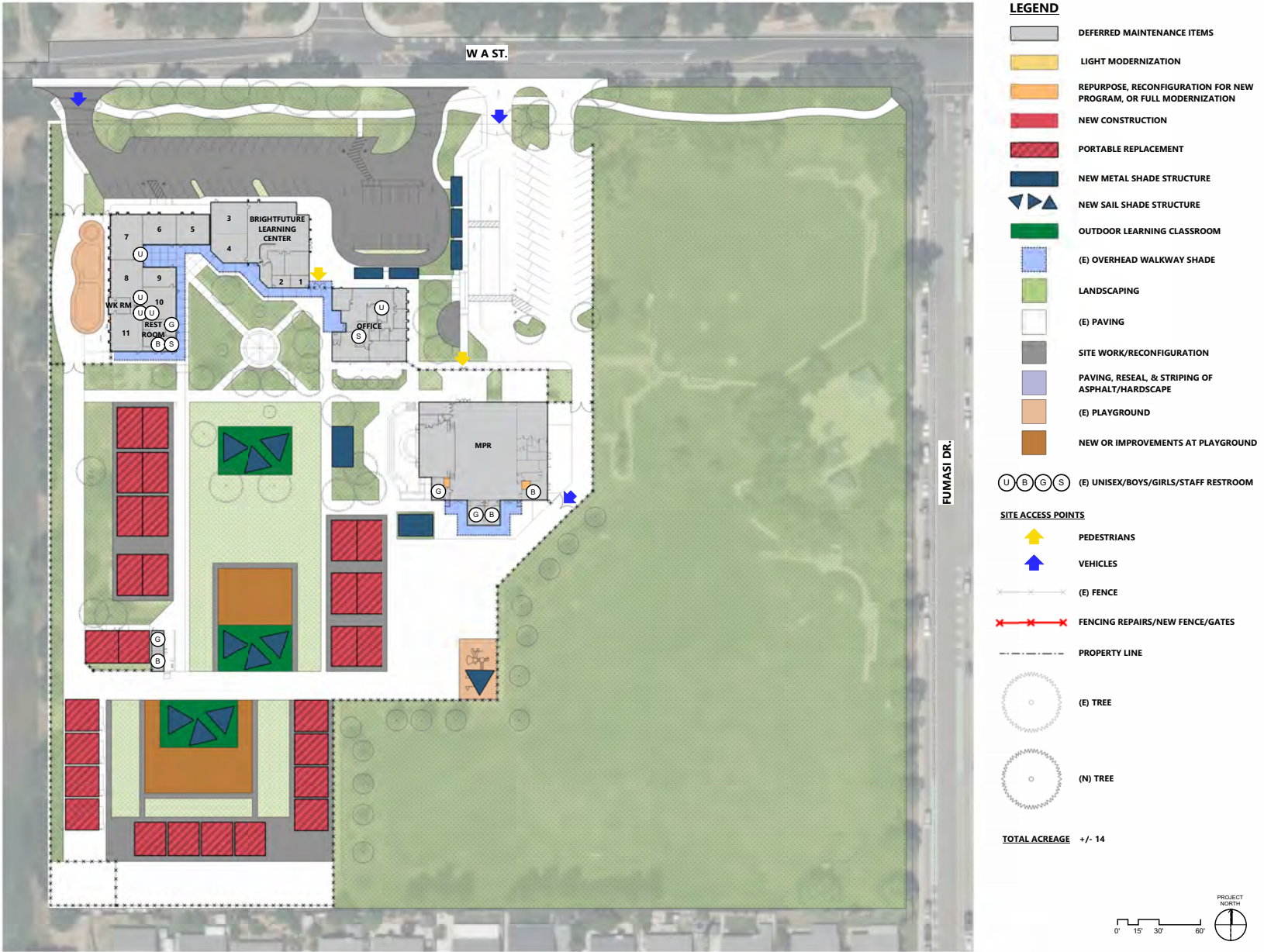
OPINION OF PROBABLE COST: \$29,726,800

GENDER-NEUTRAL RESTROOM

- Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M).

OPINION OF PROBABLE COST: \$85,900

PROPOSED MASTER PLAN - OPTION 2





CONCLUSION

In conclusion, the assessment of Vernon E. Greer Elementary School highlights the need for several key improvements to improve its functionality and aesthetics. Both proposed master plans address the need for reconfiguring the parking lot, improving usability of outdoor spaces, and replacement of the aging portable classroom facilities. The key difference between the plans being the proposed locations of new classroom buildings. Option 1 is better positioned for incremental replacement of each classroom block while Option 2 provides the opportunity to increase efficiency, flow, and usability from a site planning perspective. Selection between the two options will depend on the school's priorities, budget constraints, and long-term vision for the campus. With either option, the enhancement of the campus's classroom spaces, outdoor recreation and learning spaces, and operational efficiency for staff and students are prioritized.





LAKE CANYON ELEMENTARY



SCHOOL DATA

800 Lake Canyon Avenue, Galt, CA 95632



Year Built: 2005

Modernizations and
Campus Additions: 2023

Acreage : 10.5 Acres

Current Enrollment: 463

Total Classroom Spaces:	K-3RD	11
	4TH-6TH	8
	Special Ed	3
	ELOP	4
	Additional	1
	Total	27

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

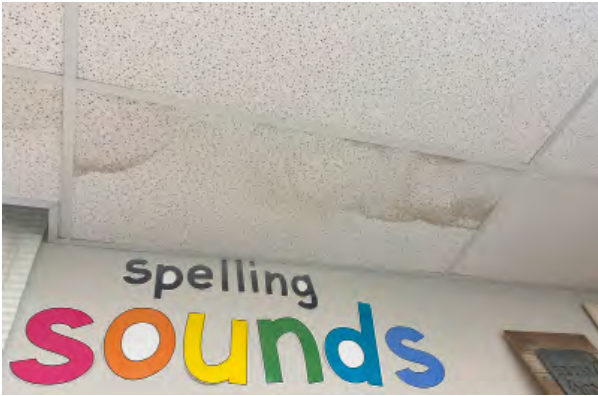
The Lake Canyon Elementary School campus is located at 800 Lake Canyon Avenue, Galt, CA. The campus is bounded to the north by Lake Canyon Avenue, to the east by Beaver Park Way, to the south by the Galt maintenance and operations yard, and to the west by single-family residences. The site is just under 10.5 acres and sits within close proximity to Carillion Boulevard, a prominent thoroughfare and spine for the city's residential neighborhoods, schools, and community amenities. The campus is comprised of nine permanent buildings, which are located at the center of site. Portable classroom buildings constructed in 2023 line the southern campus boundary. The nine permanent buildings are arrayed around a central landscaped "quad", with paved pedestrian access throughout. These buildings house the school's library, administrative and support spaces, multi-purpose space, and kindergarten through sixth grade classrooms. At the time of assessment, the campus's portable classroom buildings housed the site's Expanded Learning Opportunities Program (ELOP), a behaviorist/sensory room and a dedicated office for the campus social worker. At the western area of campus sits a blacktop expanse for sport courts and play areas, a dedicated recreation field, and an upper grade playground. The kindergarten playground is located in the attached enclosed outdoor space abutting the kindergarten building, Building K. The campus has a continuous parking lot and vehicular circulation wrapping the northern and eastern perimeters of site, with ingress and egress along both Lake Canyon Avenue and Beaver Park Way. At the time of assessment, the parking lot and drop-off area was sufficient in serving current and estimated future campus needs.

BUILDINGS

Lake Canyon Elementary School was originally constructed in 2005 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of metal stud framing, metal framed dual-pane windows, exterior stucco, ceramic tile with wood trim, brick-clad columns, and concrete slab flooring. All campus buildings are free-standing, with no attached covered walkways or structures. The roofs on the buildings are standing seam metal roofs and appeared to be in generally good condition at the time of the assessment. Based on findings during the facilities evaluation, it is recommended that select HVAC roof top units be considered for immediate replacement for continued use. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. In general, door hardware at classroom buildings includes lock-sets lockable from either side, demonstrating intent for continued campus-wide security.

PROGRAM SPACES

Finishes throughout Lake Canyon's classrooms appeared to be new and in good condition with minimal cosmetic damage. Typical surface materials included broadloom carpet, vinyl tile flooring, lay-in acoustic ceiling tiles, hollow metal doors, plastic-laminate veneer at plywood or MDF casework, rubber floor base, tackable wall covering and interior paint. These materials were consistent with the construction of all other permanent buildings campus wide. While the existing program spaces are adequate in supporting the current needs of the campus, modernization should be considered as technological and educational standards continue to evolve.



Water damage to ceiling tiles



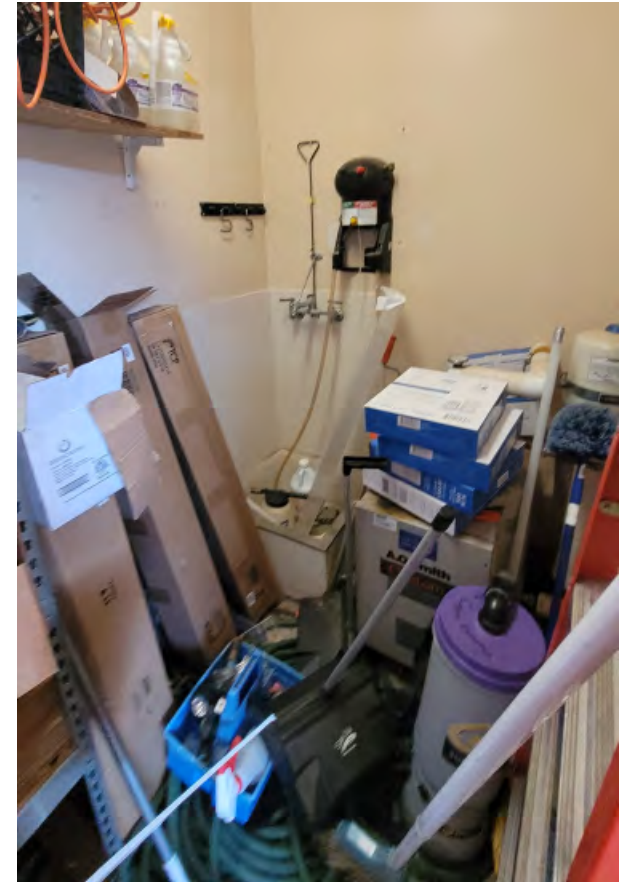
Damage to exterior brick



Damage to casework in classrooms



Cracks appearing on parking lot asphalt

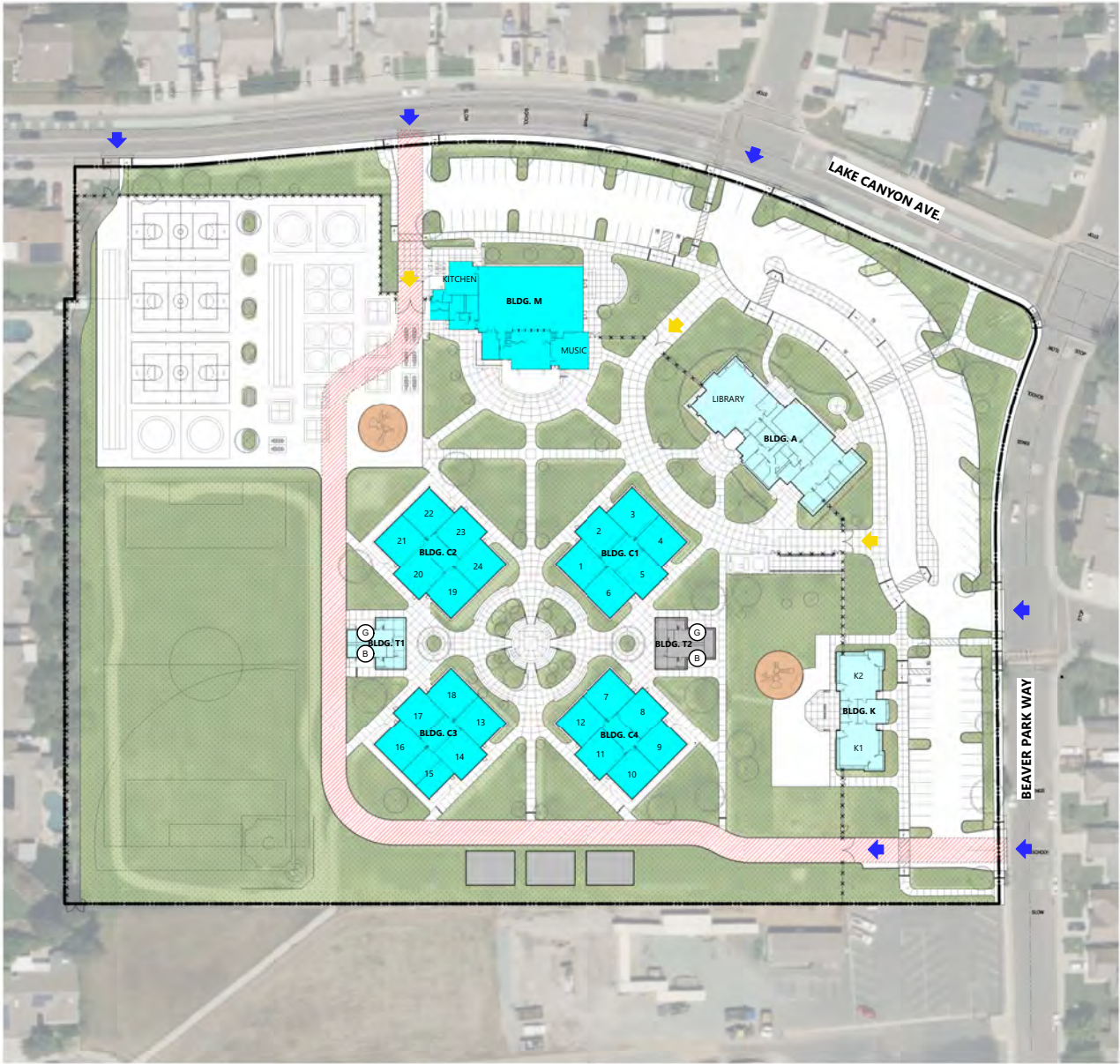


Janitor closet messy and needs organization



Rust and age affecting restroom equipment

ASSESSMENT SITE PLAN



LEGEND

- ONGOING DEFERRED MAINTENANCE
- COSMETIC REPAIR NECESSARY
- PREVENTATIVE MAINTENANCE NECESSARY
- REPAIR NECESSARY
- MAJOR REPAIR OR REPLACEMENT NECESSARY
- (E) SOLAR STRUCTURE
- (E) OVERHEAD WALKWAY SHADE
- LANDSCAPING
- ASPHALT CONCRETE PAVING
- (E) CONCRETE PAVING
- (E) PLAYGROUND

UBES (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM

XX BUILDING NAME/LABEL
XX ROOM NUMBER

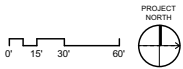
SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- FENCE
- PROPERTY LINE

ELECTRICAL CAPACITY AND USE

- 24% USED
- 76% AVAILABLE

(E) FIRE LANE




This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT LAKE CANYON ELEMENTARY SCHOOL																											FACILITY ASSESSMENT					
This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.																																
															Rating Key																	
															1=		no repair necessary										1-5					
															2=		cosmetic repair necessary										6-10					
															3=		preventative maintenance necessary										11-15					
															4=		repair necessary										16-20					
															5=		repair necessary for use past 2 years										21-25					
															6=		major repair needed for immediate continued use										26+					
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE MOCD	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	FURNITURE	WALL FINISHES	FLOOR	WALLS	CEILING	CASEWK	FIXTURES	ACOUS	EXT PAINT	SIGNAGE	HVAC	AESTH.	SUM	PRIORITY FACTOR		
K	Room K1	K1	02-104241	2002	21	21					1	1	1	2	3	1	1	2	2	2	1	3	1	2	1	1	6	2	33	13.9		
K	Room K2	K2	02-104241	2002	21	21					1	1	1	2	1	1	1	2	3	2	1	3	1	2	1	1	6	2	32	13.4		
K	Boys RR	RR 1	02-104241	2002	21	21					1	1	1	2	-	1	1	1	2	1	1	-	3	1	1	1	6	1	25	10.5		
K	Office	Office	02-104241	2002	21	21					1	1	1	2	1	1	1	1	3	1	1	2	1	2	1	1	6	1	28	11.8		
K	Girls RR	RR 2	02-104241	2002	21	21					1	1	1	2	-	1	1	1	3	1	1	-	3	1	1	1	6	2	27	11.3		
K	Janitor	Janitor	02-104241	2002	21	21					1	1	1	2	-	1	1	2	2	2	1	-	2	2	1	1	6	2	28	11.8		
C1	Room 5	C5	02-104241	2002	21	21					1	1	1	1	1	1	1	1	4	1	1	3	1	2	1	1	6	2	30	12.6		
C1	Room 4	C4	02-104241	2002	21	21					1	1	1	1	1	1	1	1	2	2	1	3	1	2	1	1	6	2	29	12.2		
C1	Room 6	C6	02-104241	2002	21	21					1	1	1	1	1	1	1	2	1	2	4	3	1	2	1	1	6	2	32	13.4		
C1	Room 1	C1	02-104241	2005	19	19					1	1	1	1	1	1	1	2	1	2	1	2	1	1	1	1	6	2	27	10.3		
C1	Work Room	WKRM	02-104241	2005	19	19					1	1	1	1	1	1	1	1	1	1	4	3	1	2	1	1	6	2	30	11.4		
C1	Room 2	C2	02-104241	2005	19	19					1	1	1	1	1	1	1	1	3	1	1	2	1	2	1	1	6	2	28	10.6		
C1	Room 3	C3	02-104241	2005	19	19					1	1	1	1	1	1	1	1	3	1	1	1	1	2	1	1	6	1	26	9.9		
C4	Room 12	C12	02-104241	2005	19	19					2	1	1	1	1	1	1	1	4	1	1	2	1	2	1	1	6	2	30	11.4		
C4	Work Room	WKRM	02-104241	2005	19	19					2	1	1	1	1	1	1	1	4	1	4	2	1	2	1	1	6	2	33	12.5		
C4	Room 11	C11	02-104241	2005	19	19					2	1	1	1	1	1	1	1	4	1	4	2	1	2	1	1	6	2	33	12.5		
C4	Room 10	C10	02-104241	2005	19	19					2	1	1	1	1	1	1	1	4	1	4	2	1	2	1	1	6	2	33	12.5		
C4	Room 7	C7	02-104241	2005	19	19					2	1	1	1	1	1	1	1	4	1	1	2	4	2	1	1	6	2	33	12.5		
C4	Room 8	C8	02-104241	2005	19	19					2	1	1	1	1	1	1	3	1	3	4	4	4	2	1	1	6	2	39	14.8		
C4	Room 9	C9	02-104241	2005	19	19					2	1	1	1	1	1	1	3	1	3	1	2	1	2	1	1	6	2	31	11.8		
C3	Room 18	C18	02-104241	2005	19	19					1	2	1	1	1	1	1	1	1	1	4	1	1	2	1	1	6	2	29	11.0		
C3	Work Room	WKRM	02-104241	2005	19	19					1	2	1	1	1	1	1	1	1	1	4	2	1	2	1	1	6	2	30	11.4		
C3	Room 17	C17	02-104241	2005	19	19					1	2	1	1	1	1	1	1	1	4	4	1	1	2	1	1	6	2	32	12.2		
C3	Room 16	C16	02-104241	2005	19	19					1	2	1	1	1	1	1	1	1	4	1	1	1	2	1	1	6	2	29	11.0		
C3	Room 15	C15	02-104241	2005	19	19					1	2	1	1	1	1	1	1	3	1	1	1	1	2	1	1	6	2	28	10.6		
C3	Room 14	C14	02-104241	2005	19	19					1	2	1	1	1	1	1	1	4	1	4	1	1	2	1	1	6	2	32	12.2		
C3	Room 13	C13	02-104241	2005	19	19					1	2	3	1	1	1	1	1	1	4	4	4	1	2	1	1	6	2	37	14.1		
C2	Room 24	C24	02-104241	2005	19	19					1	1	1	2	2	1	1	1	1	4	1	1	4	1	2	2	1	6	2	33	12.5	
C2	Room 23	C23	02-104241	2005	19	19					1	1	1	2	1	1	1	1	3	1	3	4	1	1	1	2	1	6	3	34	12.9	
C2	Room 22	C22	02-104241	2005	19	19					1	1	1	2	1	1	1	1	1	4	2	1	3	1	2	2	1	6	2	33	12.5	
C2	Room 21	C21	02-104241	2005	19	19					1	1	1	2	1	1	1	1	3	4	3	1	1	1	2	2	1	6	3	35	13.3	
C2	Room 20	C20	02-104241	2005	19	19					1	1	1	2	1	1	1	1	1	4	1	3	3	1	2	2	1	6	3	35	13.3	
C2	Room 19	C19	02-104241	2005	19	19					1	1	1	2	1	1	1	1	1	1	1	4	3	1	2	2	1	6	2	32	12.2	
C2	Work Room		02-104241	2005	19	19					1	1	1	2	1	1	1	1	3	3	3	4	3	1	2	2	1	6	3	39	14.8	
CR1	Portable		02-121488	2023	0						1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	1	19		
CR2	Portable		02-121488	2023	0						1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	1	19		
CR3	Portable		02-121488	2023	0						1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	1	19		
A	Library	Library ; BFLC; 5 TON /2021	02-104241	2005	19	19					1	1	1	1	1	1	2	1	2	1	2	4	4	1	2	1	1	1	2	29	11.0	
A	Makenspace	Makenspace	02-104241	2005	19	19					1	1	1	1	3	1	1	1	3	1	1	-	1	2	1	1	1	1	2	23	8.7	
A	Storage	Storage	02-104241	2005	19	19					1	1	1	1	-	1	1	1	3	4	2	1	-	1	2	1	1	1	2	23	8.7	
A	Admin Corridor	Admin Corridor; (3) 5 Ton/2005	02-104241	2005	19	19					1	1	1	1	-	1	1	1	3	1	2	3	-	1	2	1	1	6	2	28	10.6	
A	Staff	Staff Room	02-104241	2005	19	19					1	1	1	1	1	1	1	1	3	1	2	3	1	1	2	1	1	6	2	30	11.4	
A	Workroom	Work room - no accessible work space	02-104241	2005	19	19					1	1	1	1	1	1	1	1	3	4	2	4	3	1	3	1	1	6	2	37	14.1	
A	Meeting Room	Meeting room	02-104241	2005	19	19					1	1	1	1	1	1	1	1	3	1	3	4	1	1	2	1	1	6	2	32	12.2	
A	Office	Secretary Office	02-104241	2005	19	19					1	1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	6	1	24	9.1	
A	Principal	Principal Office	02-104241	2005	19	19					1	1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	6	1	24	9.1	
A	Storage	Storage	02-104241	2005	19	19					1	1	1	1	1	-	1	1	1	3	1	2	1	3	1	2	1	1	6	2	29	11.0
A	Vice Principal	Assist Principal	02-104241	2005	19	19					1	1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	6	1	24	9.1	

2024 DISTRICT FACILITIES MASTER PLAN

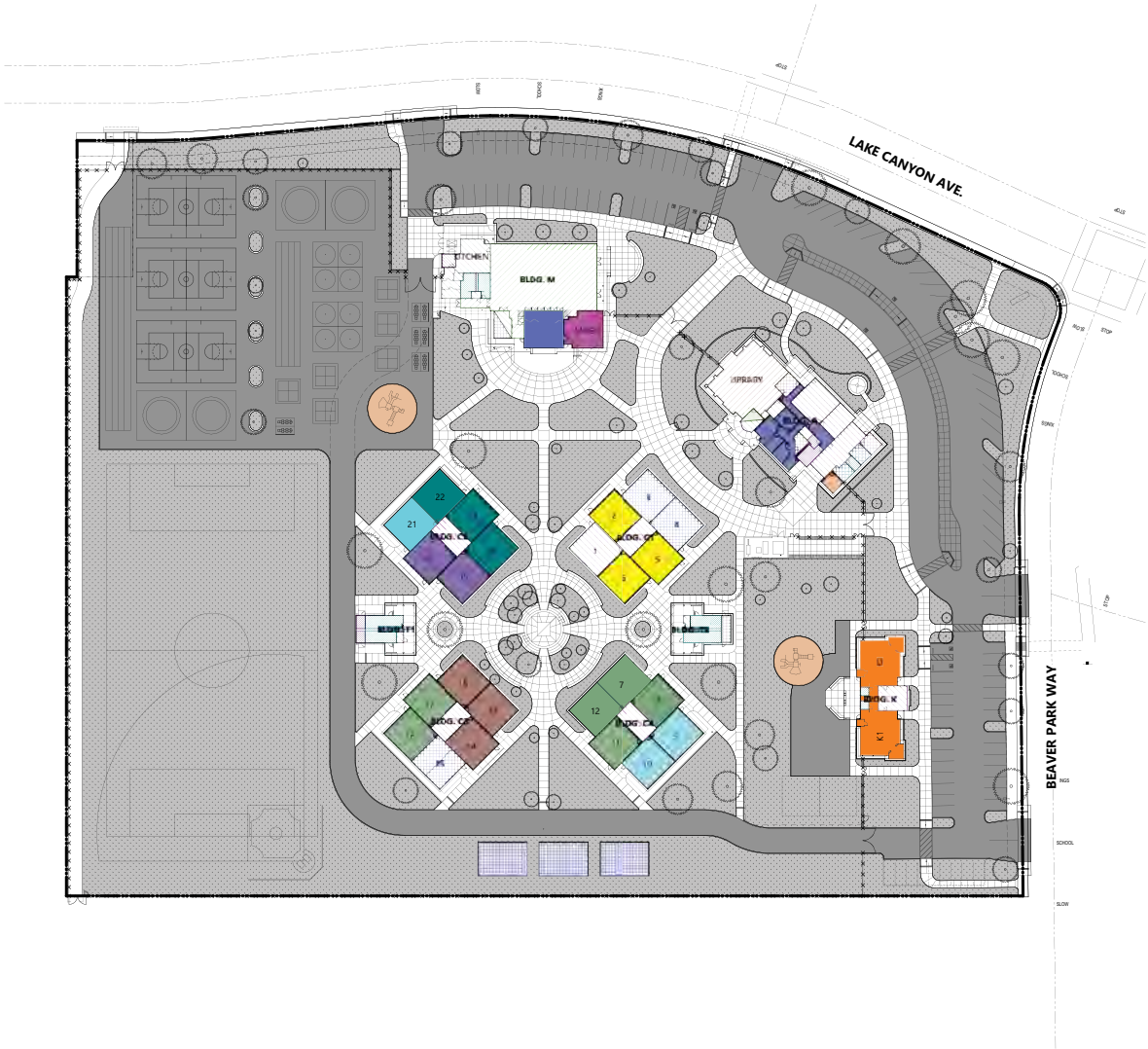
OBSERVATIONS OF CURRENT FACILITY UTILIZATION

There is an even distribution of classrooms serving each grade. Each cluster of classrooms are grouped by grade, with the exception of one 4th grade classroom which is in a separate building. There are a number of classroom spaces are being used as specialty staff offices. This campus has a dedicated music space within the Multi-Purpose Room.



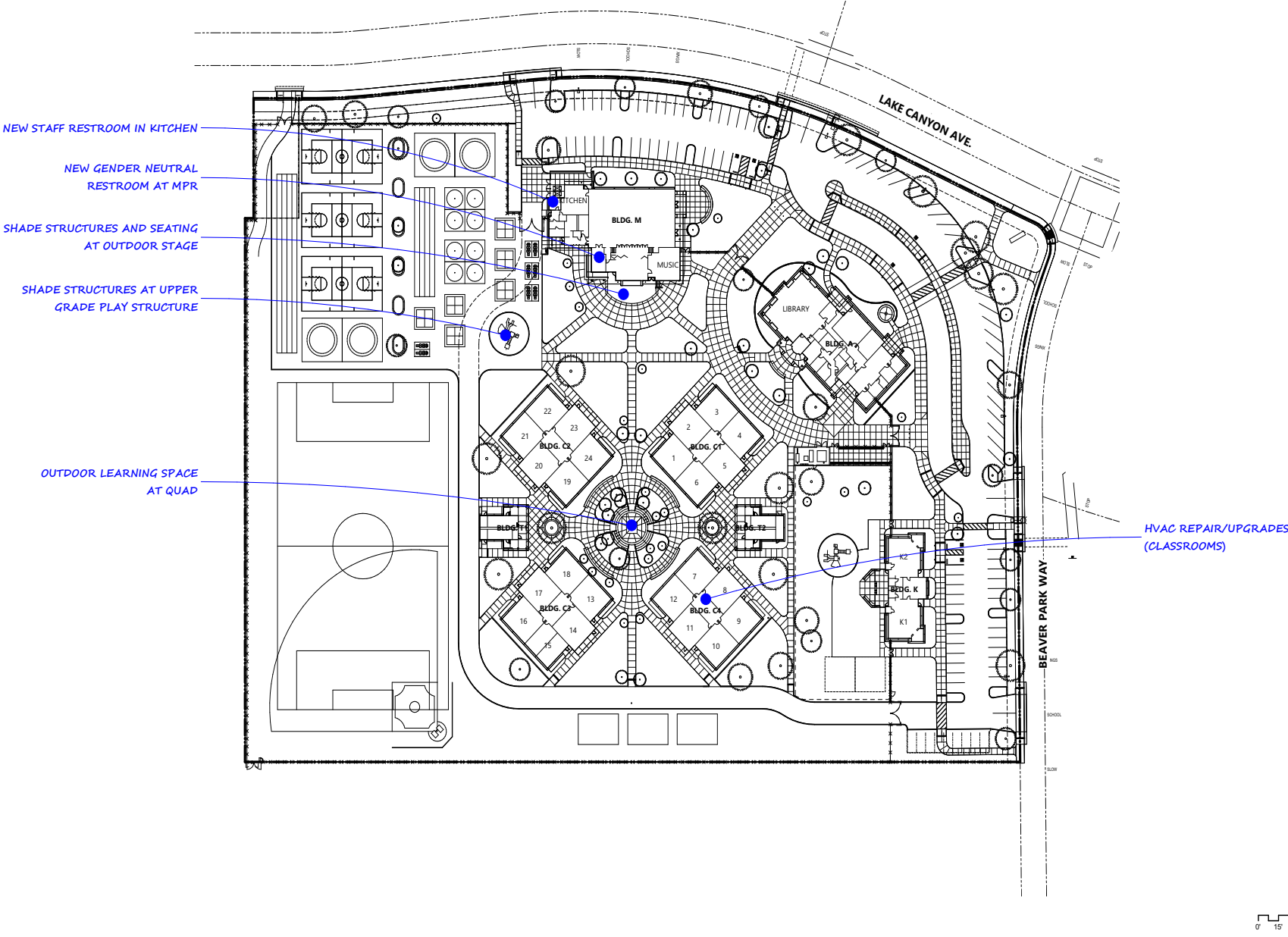
EXISTING UTILIZATION SITE PLAN

- PRESCHOOL
- KINDERGARTEN
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- 6TH GRADE
- SCIENCE
- PHYSICAL EDUCATION
- SPECIAL EDUCATION / READINESS
- SCOE PROGRAM
- SPECIAL DAY CLASS
- INSTRUCTIONAL ASSISTANT
- MIGRANT ED
- BEHAVIORIST ROOM
- SPEECH
- RESOURCE SPECIAL PROGRAM
- ELOP (IGEL)
- SENSORY ROOM
- SOCIAL WORKER
- DUI
- LIBRARY
- ADMIN
- PARENT CONFERENCE
- MUSIC
- MULTI-PURPOSE ROOM
- STUDENT SUPPORT
- STAFF WORKROOM
- STAFF BREAKROOM
- STAFF OFFICE
- LACTATION ROOM
- TEACHERS ON SPECIAL ASSIGNMENT
- STUDENT RESTROOMS
- STAFF RESTROOMS
- COUNSELOR / PSYCHOLOGIST / NURSE
- MHC
- MAKER SPACE
- KITCHEN
- ELECTRICAL / IT / CUSTODIAL
- MAINTENANCE
- CURRICULUM / STORAGE





STAKEHOLDER INPUT





MAINTENANCE PROJECTS

BUILDING K

- General surface repair of floors in next 7-10 years
- HVAC System replacement recommended within next year

BUILDING C1

- General surface repair of floors in next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- HVAC System replacement recommended within next year

BUILDING C4

- General surface repair of floors in next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC System replacement recommended within next year

BUILDING C3

- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC System replacement recommended within next year
- Update outdated fixtures where necessary

BUILDING C2

- General surface repair of floors in next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC System replacement recommended within next year

BUILDING A

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- General repair and maintenance of ceilings in next 5-7 years

BUILDING M

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- HVAC System replacement recommended in next 1-5 years

BUILDING T1

- Maintenance/Minor repair of acoustic tile in next 15-20 years

BUILDING T2

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years



ONE WAY TO ADDRESS THE NEEDS

As the district's newest addition, Lake Canyon Elementary School is well positioned for successful continued operation in the coming years. To be considered of highest important for campus maintenance work should be evaluation and subsequent replacement of the facilities' HVAC units which are original to the campus's initial construction. Among other campuses as illustrated in this report, Lake Canyon would benefit from the development of an outdoor learning space. The central quad or nearby landscaped areas would provide adequate footprint for the installation of new shade structures and fixed seating to support an outdoor teaching and learning environment. Also in need of shade are the upper grade playgrounds and outdoor amphitheater space south of the Multi-Purpose Room. Other proposed projects include the addition of a single user gender-neutral restroom in the Multi-Purpose Room and a single user dedicated staff restroom within the kitchen.

PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

OUTDOOR STAGE UPGRADES

- Provide new fixed outdoor furniture and fabric sail shade structures at perimeter of outdoor stage area.

OPINION OF PROBABLE COST: \$763,000

CAMPUS SHADE STRUCTURES

- Provide new fabric sail shade structures at existing upper grade playground.

OPINION OF PROBABLE COST: \$190,800

OUTDOOR LEARNING SPACES

- This project would bring to campus a dedicated outdoor learning space at the campus quad, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$386,300

GENDER-NEUTRAL RESTROOMS

- Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M) and a dedicated staff restroom in the kitchen (Building M).

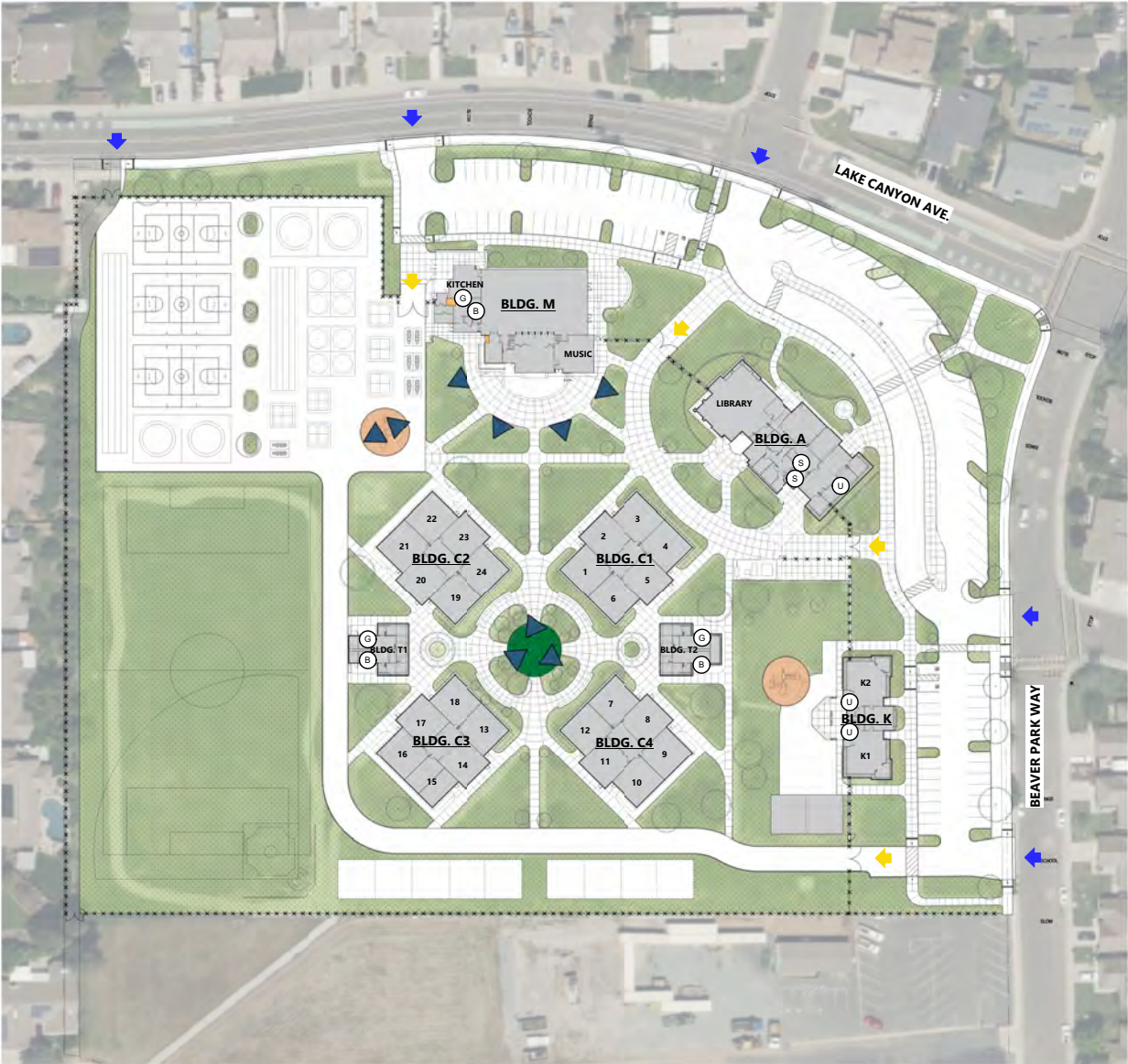
OPINION OF PROBABLE COST: \$171,700

HVAC REPLACEMENT

- Replacement of existing HVAC equipment and systems in-kind of existing buildings: Building M, A, K, T1, T2, C1, C2, C3, and C4. This cost includes updates to heating and cooling systems with power and structural considerations, requiring this project to be approved by the Division of the State Architect. If it is determined that structural changes aren't required, the estimated project cost will differ.

OPINION OF PROBABLE COST: \$8,262,000

PROPOSED MASTER PLAN



LEGEND

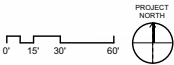
- DEFERRED MAINTENANCE ITEMS
- LIGHT MODERNIZATION
- REPURPOSE, RECONFIGURATION FOR NEW PROGRAM, OR FULL MODERNIZATION
- NEW CONSTRUCTION
- PORTABLE REPLACEMENT
- NEW METAL SHADE STRUCTURE
- NEW SAIL SHADE STRUCTURE
- OUTDOOR LEARNING CLASSROOM
- (E) OVERHEAD WALKWAY SHADE
- LANDSCAPING
- (E) PAVING
- SITE WORK/RECONFIGURATION
- PAVING, RESEAL, & STRIPING OF ASPHALT/HARDSCAPE
- (E) PLAYGROUND
- NEW OR IMPROVEMENTS AT PLAYGROUND

(U) (B) (G) (S) (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM

SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- (E) FENCE
- FENCING REPAIRS/NEW FENCE/GATES
- PROPERTY LINE
- (E) TREE
- (N) TREE

TOTAL ACREAGE +/- 14





CONCLUSION

In summary, Lake Canyon Elementary School was observed at the time of assessment to feature well-maintained and modern facilities. The master plan for this campus prioritizes regular deferred and preventative maintenance, such as the repair or replacement of the campus's original HVAC systems, as well as the implementation of select projects, primarily those intended to improve functionality and aesthetics of outdoor spaces. As technology and educational standards progress, consideration should be given to modernizing the facilities. These initiatives will further elevate the school's environment and support its mission of providing quality education to students for years to come.





MARENGO
RANCH
ELEMENTARY



SCHOOL DATA

1000 Elk Hills Drive, Galt, CA 95632



Year Built: 1997

Modernizations and
Campus Additions: 1999, 2019

Acreage : 11 Acres

Current Enrollment: 475

Total Classroom Spaces:	K-3RD	12
	4TH-6TH	7
	Special Ed	1
	ELOP	8
	Additional	3
	Total	31

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

The Marengo Ranch Elementary School campus is located at 1000 Elk Hills Drive, Galt, CA. The campus is bounded to the north by Bay Landing Way, to the east by private residences, to the south by Elk Hills Drive and to the west by Bay Shore Drive. The site is a relatively rectangular, 11-acre site sitting east of Carillion Boulevard and west of Robert L. McCaffrey Middle School. The school's campus is comprised of six permanent buildings, three modular classroom buildings on permanent foundations and ten portable classroom buildings on temporary foundations distributed evenly throughout campus. The placement of the permanent buildings is centralized around paved and tree-lined greenways. The permanent buildings house the school's administrative and support spaces, library, multi-purpose space, and kindergarten through fifth-grade classrooms. Campus portable classrooms house sixth-grade classes and student and staff support spaces such as the campus's behaviorist, speech therapist, Expanded Learning Opportunities Program (ELOP), and social worker. The campus has a continuous blacktop play area with dedicated sport courts, two play structures and an adjacent large, irrigated recreation field. An enclosed outdoor Kindergarten area yields a tree-lined grass field and an age-appropriate play structure. There are two parking lots, both entrances are on Elk Hills Drive and the largest lot exits along Elk Hills Drive. The western parking lot contains a passenger drop-off area with ingress and egress connecting Elk Hills Drive and Bay Shore Drive. The eastern lot serves staff and visitor parking with two spaces currently designated by the campus for ADA use. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. In general, door hardware at classroom buildings includes lock-sets lockable from either side, demonstrating intent for continued campus-wide security.

BUILDINGS

Marengo Ranch Elementary School was originally constructed in 1997 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of metal framing, metal framed dual-pane windows, exterior stucco with stucco trim, steel columns, and concrete slab flooring. Building A, H, and G have cement siding instead of stucco. The building materials for the permanent portable classroom Buildings include plywood siding and wood trim, vented concrete all four sides of the classrooms, and metal framed dual-pane windows. All campus buildings are detached. The roofs on the permanent buildings appeared, at the time of assessment, to be in acceptable condition. It is recommended that HVAC equipment and systems be considered for immediate repair or replacement for continued operation. The portable classroom buildings' roofs appeared to be in acceptable condition and would only need cosmetic repairs at this time.

PROGRAM SPACES

Finishes throughout Marengo Ranch's permanent classroom buildings appeared to be in acceptable condition with minimal cosmetic damage. Typical surface materials included broadloom carpet, vinyl tile flooring, lay-in acoustic ceiling tiles, hollow metal doors, plastic-laminate veneer at plywood or MDF casework, rubber floor base, tackable wall covering and interior paint. These materials were consistent with the construction of other permanent buildings campus wide. While the existing program spaces are adequate in supporting the current needs of the campus, modernization should be considered as technological and educational standards continue to evolve.



Large tear in ceiling finish



Floor damage due to kitchen equipment



Major water damage to ceiling tiles



Gaps between asphalt and concrete



Cracks appearing on blacktop

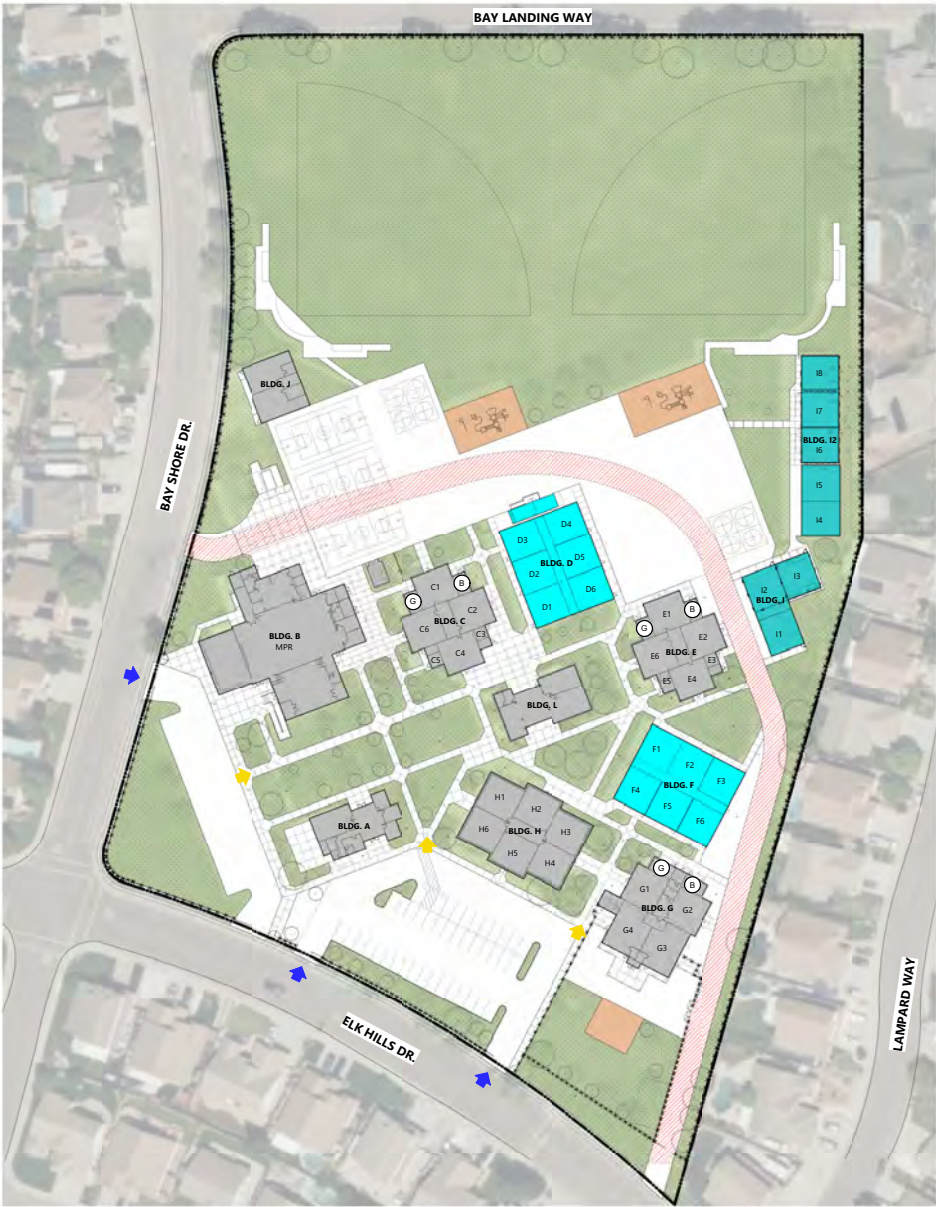


Water damage to ceiling tiles



Portable exterior damage

ASSESSMENT SITE PLAN



LEGEND

- ONGOING DEFERRED MAINTENANCE
- COSMETIC REPAIR NECESSARY
- PREVENTATIVE MAINTENANCE NECESSARY
- REPAIR NECESSARY
- MAJOR REPAIR OR REPLACEMENT NECESSARY
- (E) SOLAR STRUCTURE
- (E) OVERHEAD WALKWAY SHADE
- LANDSCAPING
- ASPHALT CONCRETE PAVING
- (E) CONCRETE PAVING
- (E) PLAYGROUND

U B G S (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM

XX BUILDING NAME/LABEL

XX ROOM NUMBER

SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- FENCE
- PROPERTY LINE

ELECTRICAL CAPACITY AND USE

- 38% USED
- 62% AVAILABLE

(E) FIRE LANE

0' 15' 30' 60'

PROJECT NORTH

GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT MARENGO RANCH ELEMENTARY SCHOOL																											FACILITY ASSESSMENT										
<p>This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.</p>																																					
																				Rating Key																	
																				1=	no repair necessary																1-5
																				2=	cosmetic repair necessary																6-10
																				3=	preventative maintenance necessary																11-15
																				4=	repair necessary																16-20
																				5=	repair necessary for use past 2 years																21-25
																				6=	major repair needed for immediate continued use																26+
BUILDING	ROOM	USE / NOTES	DSA#	YEAR BUILT	AGE	AGE SINCE MOD	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	FURNITURE	WALL FINISHES	FLOOR	WALLS	CEILING	CASEWORK	FIXTURES	ACOUS	EXT PAINT	SIGNAGE	HVAC	AESTH.	SUM	PRIORITY FACTOR							
C	Girls Restroom		62934	1997	27	5					1	1	1	2	-	1	1	1	1	1	1	-	2	1	1	1	1	1	18	1.8							
C	Boys Restroom		62934	1997	27	5					1	1	1	2	-	1	1	2	3	2	1	-	2	1	1	1	1	2	23	2.3							
C	Room C1		62934	1997	27	5					1	1	1	2	1	1	1	2	2	2	2	4	2	2	1	1	1	2	30	3.0							
C	Work Room	Teacher Workspace	62934	1997	27	5					1	1	1	2	1	1	1	1	2	1	3	2	1	3	1	1	1	2	27	2.7							
C	Room C2		62934	1997	27	5					1	1	1	2	1	1	1	2	2	1	3	2	2	3	1	1	3	2	31	3.1							
C	Room C3	Social Worker	62934	1997	27	5					1	1	1	2	1	1	1	1	1	1	4	-	2	2	1	1	-	2	24	2.4							
C	Equipment	Electical Panels/Cage	62934	1997	27	5					1	1	1	2	2	-	2	1	3	2	2	1	-	2	2	1	1	2	26	2.6							
C	Room C4		62934	1997	27	5					1	1	1	2	1	1	1	2	2	2	3	2	1	2	1	1	1	2	28	2.8							
C	Room C5	Speech	62934	1997	27	5					1	1	1	2	1	1	1	2	1	2	3	3	2	1	1	1	-	2	27	2.7							
C	Unisex Toilet	Unisex Toilet/ roof access	62934	1997	27	5					1	1	2	2	1	1	1	3	2	2	1	-	2	1	1	1	1	2	20	2.0							
C	Room C6		62934	1997	27	5					1	1	1	2	1	1	1	3	1	2	3	2	2	1	1	1	1	2	28	2.8							
D	P-Room D1		02-100484	1997	27	24					2	1	1	2	2	1	1	2	3	2	2	1	1	1	2	1	1	3	29	13.9							
D	P-Room D2		02-100484	1997	26	24					2	1	1	2	2	1	1	2	2	3	3	2	1	2	1	1	1	3	33	15.6							
D	P-Room D3		02-100484	1997	26	24					2	1	1	2	1	1	1	2	3	2	2	2	1	1	2	1	1	3	29	13.9							
D	P-Room D4		02-100484	1997	26	24					2	1	1	2	2	1	1	2	2	1	1	2	1	1	2	1	1	3	27	13.0							
D	P-Room D5		02-100484	1997	26	24					2	1	1	2	2	1	1	2	1	1	2	2	1	1	2	1	4	3	30	14.4							
D	P-Room D6		02-100484	1997	24	24					2	1	1	2	2	1	1	2	1	1	2	1	1	1	2	1	6	3	31	14.9							
D	Portable R1	Conference Room	02-102248	2001	22	22																															

2024 DISTRICT FACILITIES MASTER PLAN

OBSERVATIONS OF CURRENT FACILITY UTILIZATION

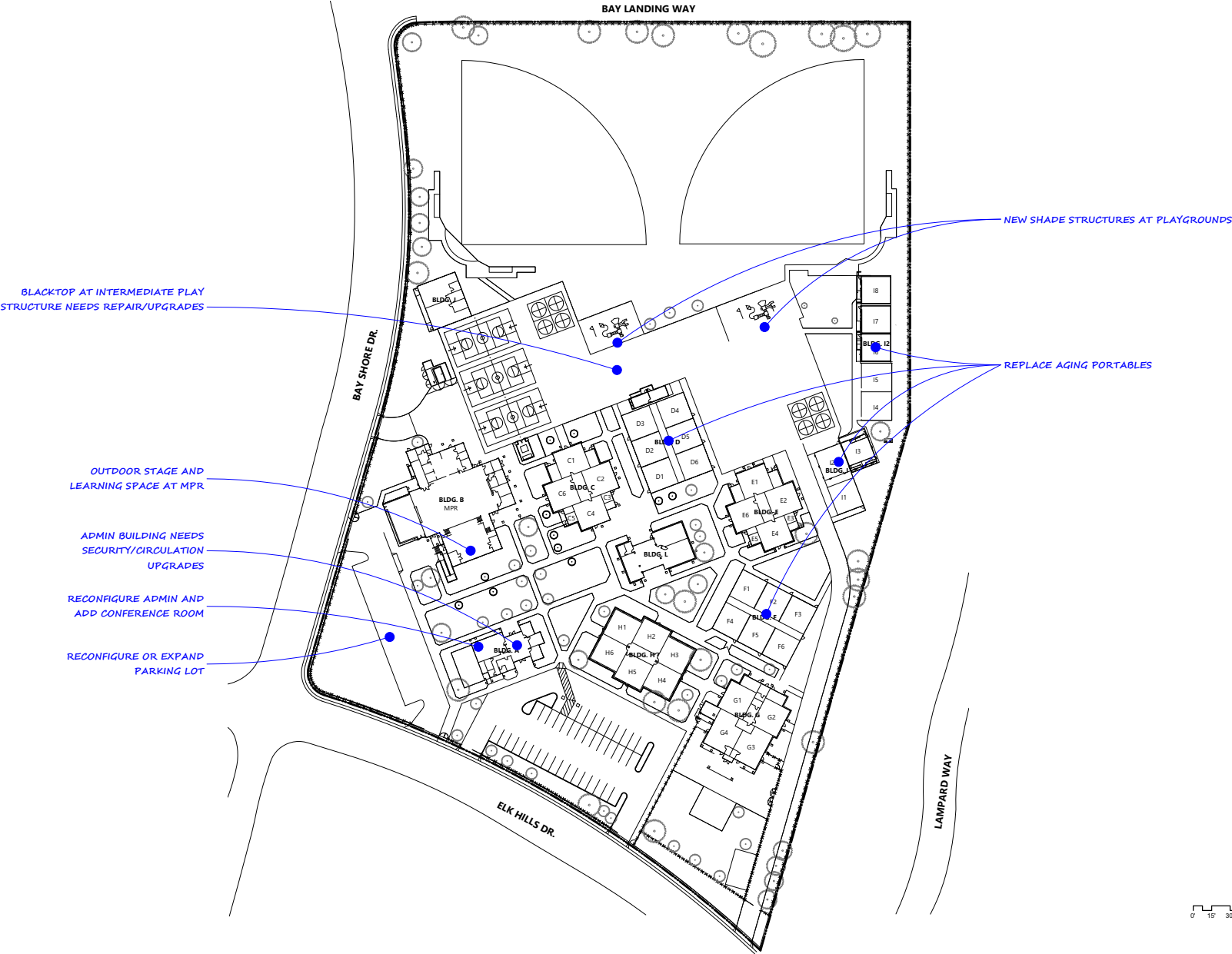
Grades at Marengo Ranch are grouped within close proximity of one another, excepting one 6th grade classroom. There is an even distribution of spaces per grade with a significant number of specialized staff classrooms and support spaces. Currently, the school's science room is being used to hold overflow storage. Physical education and music have dedicated spaces.

EXISTING UTILIZATION SITE PLAN





STAKEHOLDER INPUT





MAINTENANCE PROJECTS

BUILDING C

- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years

BUILDING D + TRAILER

- Minor touch-up of floors recommended in next 10-15 years
- HVAC System replacement recommended in next 1-5 years

BUILDING E

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years

BUILDING F

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- HVAC System replacement recommended within next year

BUILDING H

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- Aging casework, replacement recommended within next 5 years
- HVAC System replacement recommended within next year

BUILDING A

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- HVAC System replacement recommended in next 1-5 years

BUILDING B

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended in next 10-15 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

BUILDING L

- General repair and maintenance of ceilings in next 5-7 years



ONE WAY TO ADDRESS THE NEEDS

Like Lake Canyon, Marengo Ranch ES is a comparatively new campus in the district. The school's permanent buildings are in relatively good condition and would only warrant cosmetic updates and deferred maintenance in the immediate future. However, the school's relocatable classrooms are over twenty years old and in need of replacement. This proposed conceptual plan includes the in-kind replacement of all buildings of portable or modular construction: Building D, Building F, Building I, and Building I.2.

Most of the proposed work at this campus involves the site and outdoor elements. In need of maintenance is the campus's blacktop hardscape. This report proposes the resurfacing of the existing asphalt play areas and the application of colored coating to sports courts and play-lines. Another need expressed by the users is the addition of shade structures at the campus's existing playgrounds and outdoor seating and lunch areas. Permanent shade structures increase usability of these external spaces for various outdoor curricula, protected from the intense summers experienced in the California central valley.

Increasing staff numbers and enrollment justifies the expansion of the existing parking lots. This conceptual plan proposes the expansion of the western parking lot to accommodate for additional staff and visitors' parking without disrupting the existing drop-off area.

Finally, current campus performing arts programs would benefit from the construction of an outdoor stage adjoining the existing Multi-Purpose Room (Building B). Project would include providing access from and minor reconfiguration of existing backstage area within the Multi-Purpose Room as necessary.

PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

PARKING LOT RECONFIGURATION

- Improvements and expansion of existing west parking lot to accomodate growing need for staff and visitor parking. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$1,268,500

CAMPUS SHADE STRUCTURES

- Provide new metal shade structures at existing playgrounds and lunch areas.

OPINION OF PROBABLE COST: \$262,300

PLAY AREA UPGRADES

- Resurfacing of the existing asphalt play areas and application of blacktop coating to sport courts to add color while prolonging its lifespan.

OPINION OF PROBABLE COST: \$1,487,900

OUTDOOR STAGE

- Construct a concrete outdoor stage to adjoin the existing Multi-Purpose Room (Building B). Project would include providing access from and minor reconfiguration of existing backstage area within the Multi-Purpose Room as necessary.

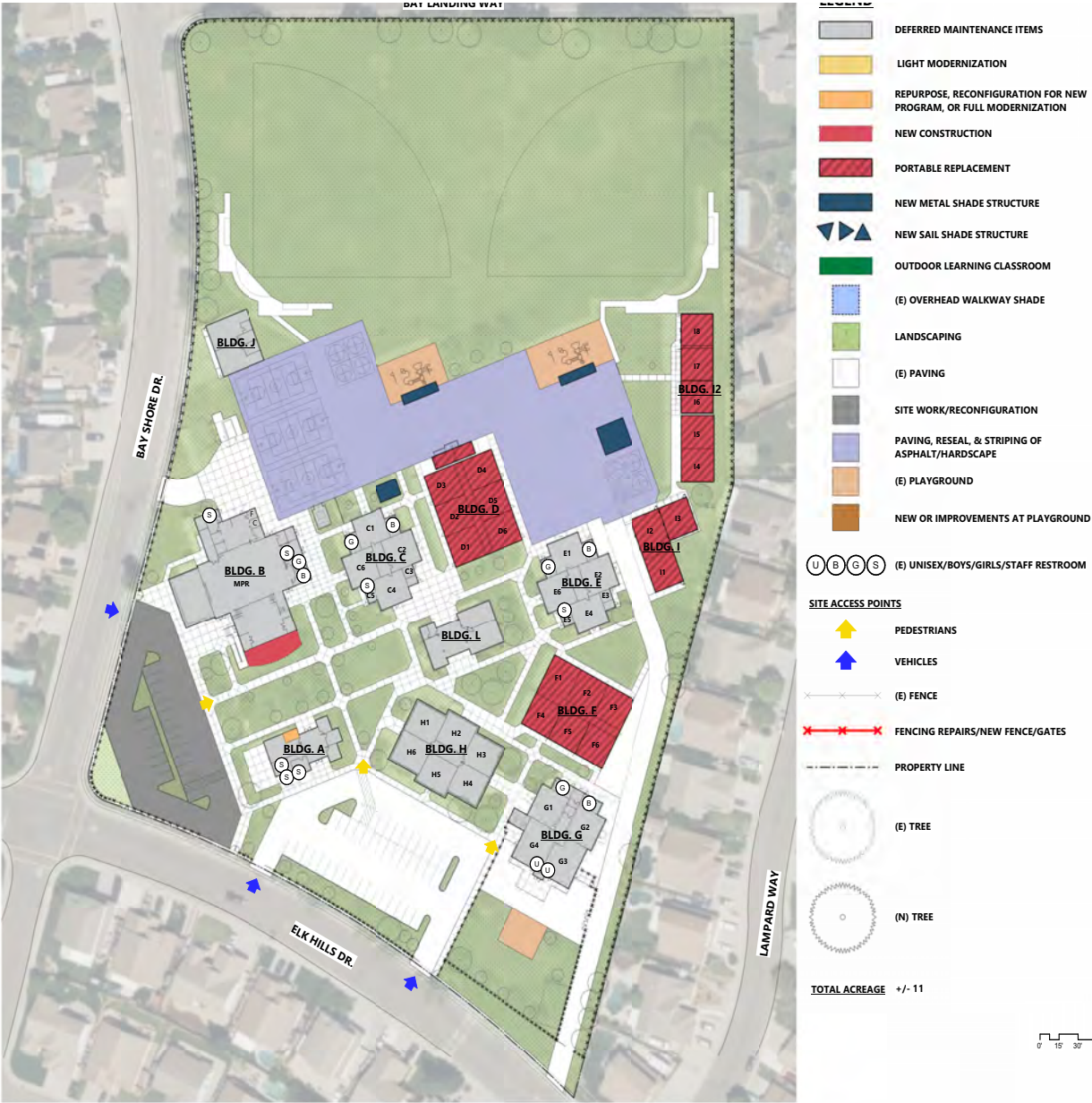
OPINION OF PROBABLE COST: \$720,000

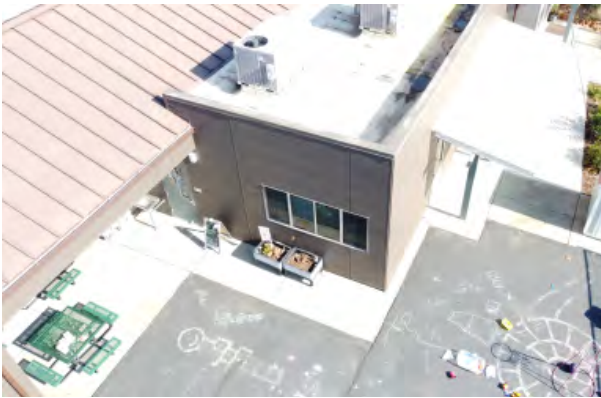
PORTABLE CLASSROOM REPLACEMENT / RELOCATION

- Sequenced in-kind replacement of the campus's aging relocatable classrooms: Building D, Building F, Building I & Building I2.

OPINION OF PROBABLE COST: \$19,757,900

PROPOSED MASTER PLAN





CONCLUSION

In conclusion, most of Marengo Ranch Elementary School, being a relatively new campus in the district, its permanent facilities feature modern, functional spaces, fixtures and finishes. However, its portable classrooms are aging and necessitate replacement, as outlined in the proposed conceptual plan. The other focus of this campus plan is the enhancement of the site's outdoor spaces: reconfiguring vehicular circulation and parking lot quantities, improving the existing play areas and providing enjoyable outdoor environments for learning, performing arts, and recreation. These proposed enhancements align with the school's commitment to providing adequate teaching and learning facilities to meet the current and future needs of its students and staff.





RIVER OAKS
ELEMENTARY
SCHOOL



SCHOOL DATA

905 Vintage Oak Avenue, Galt, CA 95632



Year Built: 1992, 1993-1997

Modernizations and Campus Additions: 2017, 2020, 2022

Acreage : 10 Acres

Current Enrollment: 518

Total Classroom Spaces:	K-3RD	12
	4TH-6TH	8
	Special Ed	5
	ELOP	5
	Additional	5
	Total	35

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

The River Oaks Elementary School campus is located at 905 Vintage Oak Avenue, Galt, CA. The campus is bounded to the north by undeveloped land, to the east and west by private residences, and to the south by Vintage Oak Avenue. The campus is relatively square, sitting on a 10-acre site. The school's campus is comprised of seven permanent buildings which surround a tree-lined greenbelt at the campus center. There are fifteen portable classroom buildings lining the north perimeter of the developed campus area and scattered amidst the permanent buildings. The seven permanent buildings house the school's library, administrative and support spaces, multipurpose room, and kindergarten through fifth grade classrooms. The campus's portable classroom buildings house sixth grade and overflow second and third grade classrooms, as well as the campus's special day classrooms and various student and staff support programs. The campus has three separate asphalt play areas. North of the campus buildings is an irrigated recreation field. The kindergarten building has a dedicated hardcourt and play structure area and the remaining two hardcourts are on in the eastern and western areas of the site serving the upper grades. There are two parking lots with ingress and egress along Vintage Oaks Avenue. The eastern parking lot directly in front of the kindergarten classroom building is used for staff and visitor parking has two parking stalls designated by the campus for ADA use.

BUILDINGS

River Oaks Elementary School was originally constructed in 1992 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of wood framing, metal framed dual-pane windows, exterior stucco and brick with wood trim, brick columns, and concrete slab flooring. The building materials for the portable classroom Buildings include plywood siding and wood trim, metal framed dual-pane windows, and set on wood sleepers over AC paving with wood and metal ramps. All the campus' buildings are stand-alone and not connected by covered walkway. The roofs on the permanent buildings appear to be in acceptable condition. It is recommended that select HVAC rooftop units be considered for immediate repair for continued use. The portable classroom buildings' roofs appeared to be in acceptable condition and would only justify cosmetic repair at the time of assessment.

PROGRAM SPACES

Condition of finishes throughout River Oaks' facilities varied between buildings. The majority of the permanent structures presented to be in acceptable condition. Identified as a candidate for modernization is Building D, which currently houses 1st and 2nd grade classrooms. Typical surface materials included broadloom carpet, vinyl tile flooring, lay-in acoustic ceiling tiles, hollow metal doors, plastic-laminate veneer at plywood or MDF casework, rubber floor base, tackable wall covering and interior paint. These materials were consistent with the construction of all other permanent buildings campus wide. While the remaining existing program spaces are adequate in supporting the current needs of the campus, modernization should be considered as technological and educational standards continue to evolve. Staff and community at this campus have expressed the desire for additional/ supplemental program spaces as well as the modernization of existing facilities.



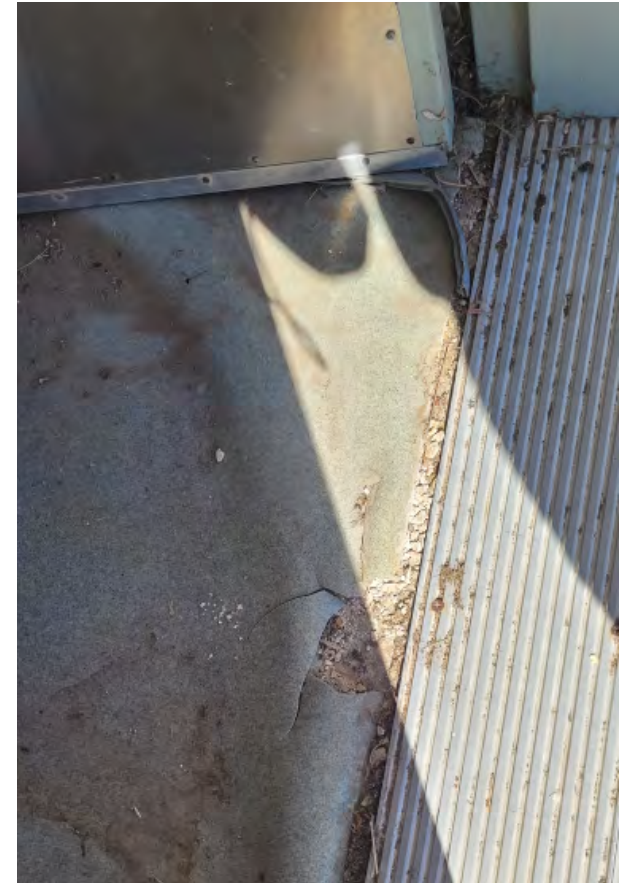
water damage on ceiling tiles



walls have wear and tear



mechanical equipment and roof are dirty



large gaps and cracks appearing on concrete



storage rooms are messy and unorganized



cracks appearing on asphalt



large gaps and cracks appearing on concrete

ASSESSMENT SITE PLAN



FACILITY ASSESSMENT DATA SCORING SHEETS

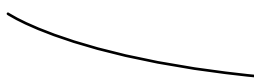
This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT																				FACILITY ASSESSMENT									
RIVER OAKS ELEMENTARY SCHOOL																													
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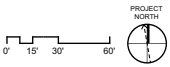
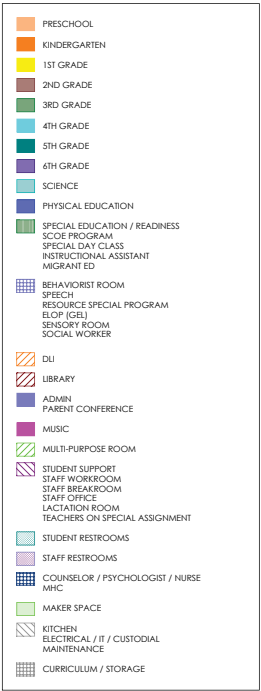
2024 DISTRICT FACILITIES MASTER PLAN

OBSERVATIONS OF CURRENT FACILITY UTILIZATION

This campus has an even distribution of classroom to grades. Currently, 3rd grade classes are spread across permanent and portable buildings, while all of 6th grade is utilizing portable classrooms. There are numerous classrooms being shared for numerous uses (i.e. specialty staff, curriculum storage, PE). This site has only one dedicated classroom for the special education program.

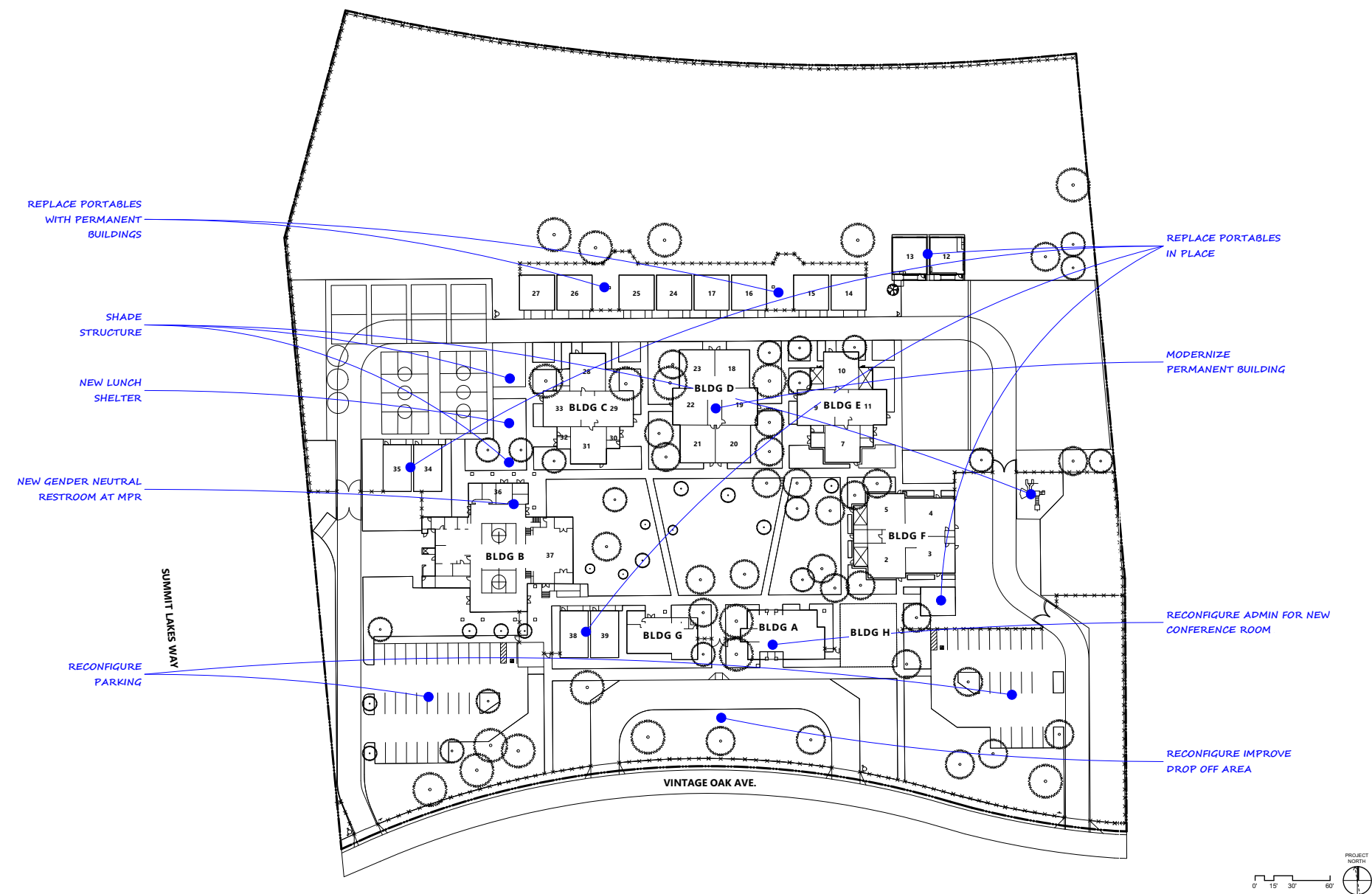


EXISTING UTILIZATION SITE PLAN





STAKEHOLDER INPUT





MAINTENANCE PROJECTS

BUILDING C

- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years

BUILDING D + TRAILER

- Minor touch-up of floors recommended in next 10-15 years
- HVAC System replacement recommended in next 1-5 years

BUILDING E

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years

BUILDING F

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- HVAC System replacement recommended within next year

BUILDING H

- General surface repair of wall finishes in next 7 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- Aging casework, replacement recommended within next 5 years
- HVAC System replacement recommended within next year

BUILDING A

- Minor touch-up of wall finishes recommended within next 7-10 years
- Minor touch-up of floors recommended in next 7-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- Outdated casework, replacement recommended within next 7 years
- HVAC System replacement recommended in next 1-5 years

BUILDING B

- Paint and patch doors as general maintenance, update hardware in next 10 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Minor touch-up of floors recommended in next 10-15 years
- Repair and maintenance of walls recommended in next 10-15 years
- Outdated casework, replacement recommended within next 7 years
- Update outdated fixtures where necessary
- HVAC System replacement recommended in next 1-5 years

BUILDING L

- General repair and maintenance of ceilings in next 5-7 years



ONE WAY TO ADDRESS THE NEEDS

The River Oaks Elementary School campus would benefit from several projects to improve staff and student safety and wellness and daily operation. During early meetings with the steering committee, campus leadership expressed the present hazards caused by current traffic flow at the existing parking lots and drop-off zones. It is recommended that the site undergo a reconfiguration and expansion of these vehicular areas, to accommodate for growing need for additional staff and visitor parking and relieve traffic flow.

Another project proposed is the addition of metal shade structures at the reconfigured pick-up/drop-off area, the existing lunch area north of the Multi-Purpose Room, and the two existing play structures. The portable campus buildings are aging and would benefit from replacement. This conceptual plan proposes the replacement of the eight portable classrooms at the north of campus with two permanent classroom buildings. These buildings would be of like construction to the existing classroom buildings and accommodate eight total classrooms, single user restrooms, and teacher prep space.

It is also recommended that the remaining portable classroom buildings be replaced in-kind at their existing locations. Building D was identified as a candidate for building modernization. This would include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures to improve functionality and aesthetic quality of the space. Other projects identified are the addition of a gender-neutral restroom in the campus's Multi-Purpose Room, and the reconfiguration of the campus's Admin building to include a conference room to satisfy the users' current need for confidential small-group meeting space.

PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

PARKING LOT RECONFIGURATION

- Improvements and expansion of existing parking lot and drop-off areas to allow for more staff and visitor parking while improving efficiency of traffic circulation. Work would include improved landscaping and pavement as required.

OPINION OF PROBABLE COST: \$2,823,000

CAMPUS SHADE STRUCTURES

- Provide new metal shade structures at existing playgrounds, outdoor lunch seating area, and student drop-off/pick-up areas.

OPINION OF PROBABLE COST: \$1,084,900

ADMIN BUILDING RECONFIGURATION

- Project includes the demising of a new conference room within the existing campus administration building. Conference room to be equipped with power, data, and audio/visual infrastructure to support modern operation.

OPINION OF PROBABLE COST: \$421,100

BUILDING MODERNIZATION

- Modernization of existing permanent classroom Building D to include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures.

OPINION OF PROBABLE COST: \$3,443,000

NEW CLASSROOM BUILDINGS

- Addition of new classroom buildings of permanent construction to be located at the north of campus. Two (2) new permanent buildings would house eight (8) total individual classrooms to replace the existing relocatable classrooms: 14, 15, 16, 17, 24, 25, 26, & 27. Project scope would include associated sitework and landscaping.

OPINION OF PROBABLE COST: \$19,456,400

PORTABLE CLASSROOM REPLACEMENT

- In-kind replacement of the campus's aging relocatable classrooms: rooms 12, 13, 34, 35, 38 & 39.

OPINION OF PROBABLE COST: \$8,148,800

GENDER-NEUTRAL RESTROOM

- Provide a single-user gender-neutral restroom at the Multi-Purpose Room.

OPINION OF PROBABLE COST: \$85,900

PROPOSED MASTER PLAN





CONCLUSION

River Oaks Elementary School is a candidate for several improvement projects aimed at enhancing its learning environments, roadways, outdoor spaces, and daily operations of students and staff. Concerns over traffic flow and safety hazards prompted recommendations for reconfiguring and expanding the existing parking lots and drop-off zones.

Additionally, plans include installing shade structures at key areas such as the pick-up zone, lunch area, and existing play structures to provide relief from sun exposure. The aging portable classrooms at the north of site present an opportunity for replacement with two permanent classroom buildings, while the remaining portable classrooms throughout the campus are recommended to be replaced in-kind to allow for future flexibility as the campus needs fluctuate.

Further enhancements include the addition of a gender-neutral restroom in the existing Multi-Purpose Room and reconfiguring the Admin building to include a conference room, addressing the need for confidential small-group meetings. These projects collectively aim to create a safer, more functional, and conducive learning environment at River Oaks Elementary School.





VALLEY OAKS ELEMENTARY



SCHOOL DATA

21 C Street, Galt, CA 95932



Year Built: 1968, 1975 - 1986

Modernizations and Campus Additions: 2018, 2019, 2024

Acreage : 10.4 Acres

Current Enrollment: 514

Total Classroom Spaces:	K-3RD	13
	4TH-6TH	6
	Special Ed	4
	ELOP	6
	Additional	5
	Total	34

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

The Valley Oaks Elementary School campus is located at 21 C Street, Galt, CA. The campus is bounded to the south by C Street, to the west, north and east by private residences. The site is relatively square, sitting on a 10.4-acre site. The school's campus is comprised of seven permanent buildings, which are located approximately at the south end spreading to the east and west of the site. There are 19 portable classroom buildings spread throughout the site. The arrangement for the permanent buildings is centralized around paved and landscaped quad areas. The seven buildings house the school's library, administrative and support spaces, multipurpose room, kindergarten through sixth grade classrooms. The campus's portable classroom buildings, houses overflow kindergarten through fourth grade, music, and support spaces. The portable buildings are spread throughout the site and between the seven permanent buildings. North of the campus buildings are the school's blacktop play areas, playground structures, and irrigated recreation field. The kindergarten building has a dedicated outdoor space and play structure. There are two parking lots with both entrances and exits along C Street. The eastern parking lot is next to the multi-purpose building and has a bus drop off, staff and visitor parking with four spaces that are currently designated by the campus for ADA use. There is paved pedestrian egress between the staff and visitor parking lot and the school's main entrance. The path is defined by signage, pavement striping, a curb cut, a sidewalk ramp and a sidewalk. The western parking lot is to the west of the administrative building and is used for staff and visitor parking.

BUILDINGS

Valley Oaks Elementary School was originally constructed in 1968 with buildings A, B, and C, with buildings D, E, and F completed in 1977 with subsequent alterations completed since its construction. Classroom Building G, fifth and sixth grade was constructed in 2023. Generally, the construction of the original school buildings consists of wood framing, metal framed single-pane windows, exterior stucco with brick-cladding, wood siding, wood trim, and concrete slab flooring. The building materials for the portable classroom Buildings include plywood siding and wood trim, metal framed single-pane windows, buildings are set on concrete and AC paving with metal and wood ramps. All the campus' buildings are stand-alone and not connected by covered walkway. The roofs on the permanent buildings appeared, at the time of the assessment, to be in acceptable condition. It is recommended that select HVAC roof top units be considered for immediate repair for continued use and the remaining units be considered for continued preventative maintenance. The majority of portable classroom buildings' roofs appeared to be in good condition and did not appear to warrant repair at the time of assessment. It is recommended that portable classroom buildings 22, 23, 24, and 25 be considered for immediate replacement. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. Student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements.

PROGRAM SPACES

Modernized and expanded instructional and support spaces are required throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, shade structures, enlarge and reconfigure administration building to add additional offices and conference room, reconfigure library conference room to gain two offices, add gender neutral student restroom, reconfigure parking, etc. Staff and community at this campus have expressed the desire for additional/ supplemental program spaces as well as the modernization of existing facilities.



Damage to ceiling tiles



Cracks/damage to wheelchair ramps



Casework is damaged in classrooms



Drinking fountain area damaged



Drinking fountains are broken/damaged

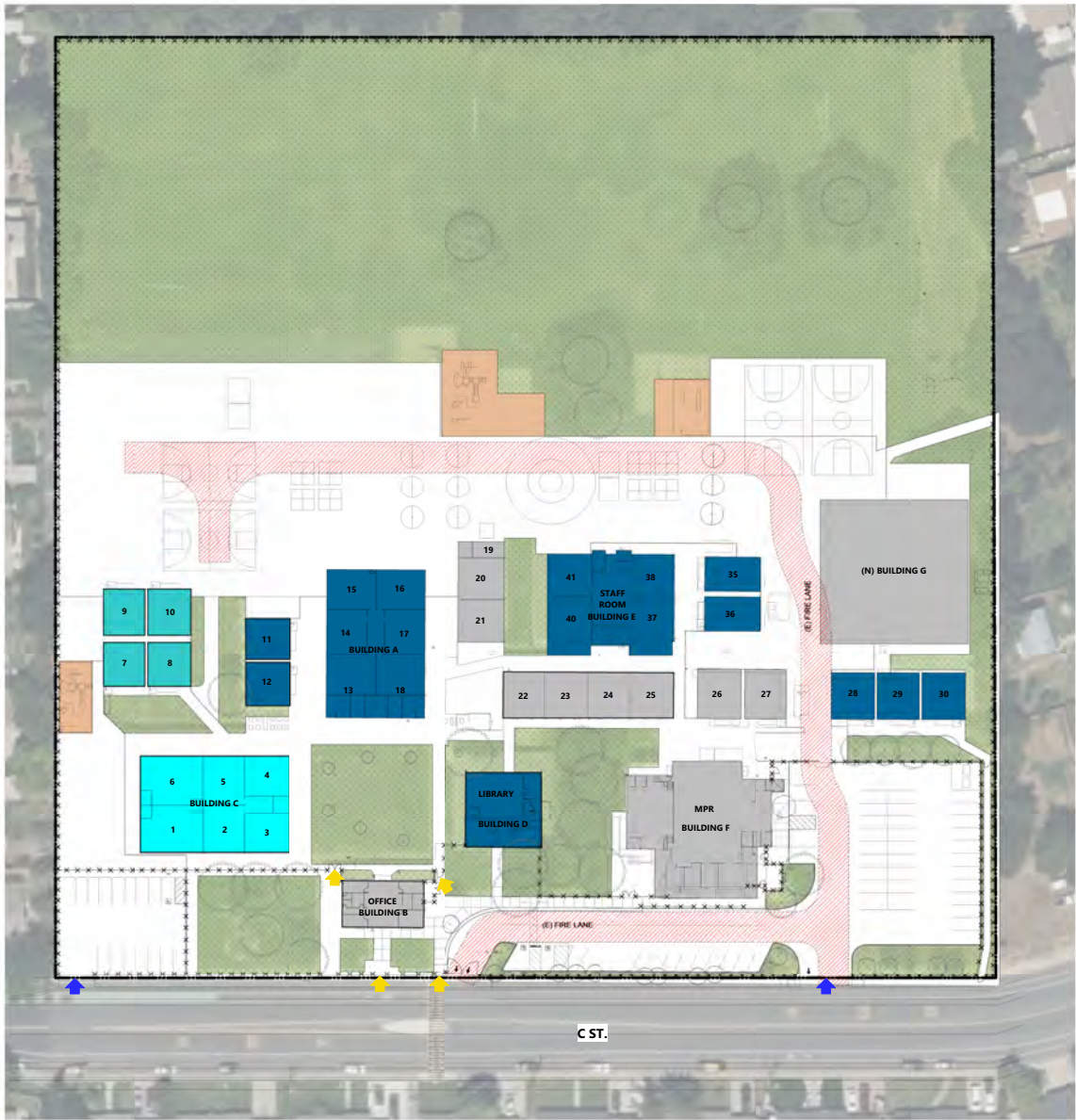


Old walkways are cracked and unlevelled



Exterior wall breaking away

ASSESSMENT SITE PLAN



LEGEND

- NO REPAIR NECESSARY
- COSMETIC REPAIR NECESSARY
- PREVENTATIVE MAINTENANCE NECESSARY
- REPAIR NECESSARY
- MAJOR REPAIR OR REPLACEMENT NECESSARY
- (E) SOLAR STRUCTURE
- (E) OVERHEAD WALKWAY SHADE
- LANDSCAPING
- ASPHALT CONCRETE PAVING
- (E) CONCRETE PAVING
- (E) PLAYGROUND
- (U) (B) (G) (S) (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM
- XX BUILDING NAME/LABEL
- XX ROOM NUMBER

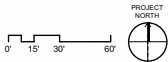
SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- FENCE
- PROPERTY LINE

ELECTRICAL CAPACITY AND USE

- 42% USED
- 58% AVAILABLE

- (E) FIRE LANE
- (E) TREE



FACILITY ASSESSMENT DATA SCORING SHEETS

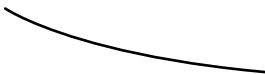
This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT VALLEY OAKS ELEMENTARY SCHOOL																				FACILITY ASSESSMENT																			
<div>This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.</div>																				<div>Rating Key</div> <div><div>1=</div><div>no repair necessary</div></div> <div><div>2=</div><div>cosmetic repair necessary</div></div> <div><div>3=</div><div>preventative maintenance necessary</div></div> <div><div>4=</div><div>repair necessary</div></div> <div><div>5=</div><div>repair necessary for use past 2 years</div></div> <div><div>6=</div><div>major repair needed for immediate continued use</div></div>										<div>1-5</div> <div>6-10</div> <div>11-15</div> <div>16-20</div> <div>21-25</div> <div>26+</div>									
BUILDING	ROOM	USE	DSA#	YEAR BUILT	AGE	AGE SINCE MOD	HAZ	STRUCT	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	FURNITURE	WALL FINISHES	FLOOR	WALLS	CEILING	CASEWK	FIXTURES	ACCUS	EXT PAINT	SIGNAGE	HVAC	AESTH	SUM	PRIORITY FACTOR									
C	Room 1	Kindergarten	#26684	1968	56	19				5	1	1	2	1	3	2	1	2	3	3	2	3	2	1	4	3	3	45	17										
C	Room 2	1st Grade	#26684	1968	56	19				3	1	1	3	1	3	1	1	2	2	3	2	3	2	2	1	4	3	3	41	15.6									
C	Room 3	1st Grade	#26684	1968	56	19				3	1	1	2	1	3	1	1	2	3	3	3	4	2	2	1	4	3	3	43	16.3									
C	Pod		#26684	1968	56	19				3	1	1	2	1	3	2	1	2	3	3	3	4	2	2	1	4	3	3	44	16.7									
C	Room 4	1st Grade	#26684	1968	56	19				3	1	1	3	1	3	1	1	2	3	3	3	-	-	2	1	4	3	3	38	14.4									
C	Room 5		#26684	1968	56	19				3	1	1	2	1	3	2	1	2	2	3	2	4	2	2	1	4	3	3	42	16.0									
C	Room 6	Kindergarten	#26684	1968	56	19				5	1	1	2	1	3	2	1	2	3	3	2	4	3	2	1	4	3	3	46	17.6									
C	Room 6 RR		#26684	1968	56	19				5	1	3	2	1	-	1	1	1	3	2	2	-	3	2	1	4	3	3	38	14.4									
RM7	Room 7	Kindergarten	#67997	1997	26	26				3	1	1	2	1	2	1	1	2	3	3	2	1	2	2	1	4	1	3	36	16.7									
RM8	Room 8	Kindergarten	#67997	1997	26	26				3	1	1	2	1	2	1	1	2	3	3	3	2	3	2	1	4	1	3	39	20.3									
RM9	Room 9	Counselor Room	#65169	1996	27	27				5	1	1	3	1	2	2	1	2	3	3	2	2	3	2	1	4	4	3	45	24.3									
RM10	Room 10	SDC Room	#65169	1996	27	27				5	1	1	2	1	2	1	1	2	3	3	3	2	2	2	1	4	4	3	43	23.2									
RM11	Room 11	IA's Work Room	#49231	1987	36	36				5	1	1	3	1	2	1	1	2	2	3	2	2	2	2	1	4	1	3	39	28.1									
RM12	Room 12	Music	#49231	1987	36	36				5	1	1	2	1	2	2	1	2	3	3	2	2	2	2	1	4	1	3	40	28.8									
A	Girls Restroom	Work Room	#02-106028	2004	19	19				3	1	2	3	1	3	2	1	2	3	3	3	-	3	3	1	4	3	3	44	16.7									
A	Mech Room	Electrical	#26684	1968	56	56				3	1	2	3	1	-	1	-	3	2	4	2	-	-	2	1	4	3		32	35.6									
A	General Storage	Storage	#26684	1968	56	56				3	1	2	2	1	-	2	-	3	3	4	3	3	2	1	4	3	3	43	48.2										
A	Janitor	Custodian	#26684	1968	56	56				3	1	2	3	1	-	1	2	3	3	4	3	-	3	3	1	4	3	3	43	48.2									
A	Boy Restroom		#26684	1968	56	56				3	1	2	2	1	3	2	1	3	4	4	3	-	4	3	1	4	3	4	48	53.8									
A	Room 13		#26684	1968	56	56				3	1	2	2	1	2	1	1	2	3	3	3	3	3	2	1	4	3	3	43	53.8									
A	Pod		#26684	1968	56	56				3	1	2	3	1	3	2	1	2	2	3	3	4	-	2	1	4	3	3	43	53.8									
A	Room 14	PE/Moisture Issue	#26684	1968	56	56				3	1	2	3	1	3	1	1	1	3	2	2	3	2	2	1	4	3	3	41	53.9									
A	Room 15	Learning Center	#26684	1968	56	56				3	1	2	3	1	4	1	1	2	4	3	3	4	2	2	1	4	3	3	47	52.6									
A	Room 16	2nd Grade	#26684	1968	56	56				4	1	2	3	1	4	2	1	2	2	3	3	4	3	2	1	4	3	3	48	53.8									
A	Room 17	2nd Grade	#26684	1968	56	56				4	1	2	3	1	4	1	1	2	3	3	3	4	2	2	1	4	3	3	47	52.6									
A	Room 18	2nd Grade	#26684	1968	56	56				4	1	2	3	1	4	1	1	2	3	3	3	3	2	2	1	4	3	3	46	51.5									
RM 20	Room 20/21	Speech	#37677	1974	49	49				4	2	2	3	2	4	3	1	3	4	4	3	4	3	1	2	4	4	4	57	55.9									
RM 20	Room 20 office	Speech/RSP	#37677	1974	49	49				4	2	2	3	2	4	3	1	3	3	4	4	-	4	1	2	4	4	4	54	52.9									
RM22	Room 22	3rd Grade	#36178	NOT AVAIL	n/a	n/a				3	2	2	3	1	4	2	1	2	3	3	4	3	3	3	2	4	6	3	54										
RM23	Room 23	3rd Grade	#36178	NOT AVAIL	n/a	n/a				4	2	2	3	1	3	2	1	2	2	3	4	3	2	2	3	2	4	1	3	45									
RM24	Room 24	3rd Grade	#36178	NOT AVAIL	n/a	n/a				4	2	2	3	1	4	2	1	2	3	3	4	3	3	3	2	4	6	3	55										
RM25	Room 25	Construction Office	#36178	NOT AVAIL	n/a	n/a				4	2	2	3	1	4	2	-	3	3	4	4	3	3	3	2	4	4	3	54										
RM26	Room 26	5th Grade	#45194	1983	40	40				4	1	1	3	1	3	2	1	2	2	3	3	2	2	3	1	4	1	2	41	32.8									
RM27	Room 27	5th Grade	#45194	1983	40	40				4	1	1	3	1	3	1	1	-	3	-	3	2	2	3	1	4	3	2	38	30.4									
RM28	Room 28	6th Grade	#45194	1983	40	40				4	1	2	3	1	4	1	1	3	3	4	4	3	3	3	1	4	1	3	49	36.2									
RM29	Room 29	6th Grade	#52345	1989	34	34				4	1	2	3	1	4	2	1	2	2	3	3	4	3	3	1	4	1	3	47	32.0									
RM30	Room 30	6th Grade	#52345	1989	34	34				4	1	4	3	1	4	1	1	2	3	3	3	3	3	3	1	4	1	3	48	32.6									
RM35	Room 35	SDC	#48161	1986	37	37				4	1	1	3	3	2	2	2	1	2	3	3	3	4	3	3	1	4	6	3	51	37.7								
RM36	Room 36	Staff Room	#02-106220	2004	19	19				1	1	1	2	2	2	2	1	1	1	2	2	2	3	2	2	1	4	6	2	38	14.4								
E	Room 37	5th Grade	#40222	1977	46	46				4	1	1	3	1	3	1	1	2	4	3	4	3	3	3	1	4	3	3	48	44.2									
E	Room 38	4th Grade	#40222	1977	46	46				4	1	1	3	1	3	1	1	2	4	3	4	3	3	3	1	4	3	3	48	44.2									
E	Room 39		#40222	1977	46	46				4	1	1	4	1	3	1	1	2	3	3	4	3	3	3	1	4	3	3	48	44.2									
E	Work Room		#40222	1977	46	46				4	1	1	4	1	-	2	1	1	3	2	4	4	4	3	2	1	4	3	3	44	40.5								
E	Janitor	(Door Name Electrical Main)	#40222	1977	46	46				4	1	1	4	1	-	1	1	3	4	4	4	0	4	3	1	4	3	4	43	38.6									
E	Room 41	4th Grade	#40222	1977	46	46				4	1	1	4	1	4	1	1	2	4	3	4	4	4	3	1	4	3	4	53	48.8									
E	Room 40	Curriculum	#40222	1977	46	46				4	1	1	4	1	3	2	1	2	3	3	3	3	3	2	1	4	3	3	47	43.2									
E	Staff Room	POD	#40222	1977	46	46				4	1	1	4	1	6	2	1	2	3	3	3	3	3	4	1	4	3	3	52	47.8									
E	Boys Restroom		#40222	1977	46	46				3	1	1	3	1	-	2	1	2	3	3	3	-	4	3	1	4	3	3	41	37.7									

2024 DISTRICT FACILITIES MASTER PLAN

OBSERVATIONS OF CURRENT FACILITY UTILIZATION

With the construction of its newest classroom building in late 2023, this campus has been able to relocate and expand the 5th and 6th grade classrooms. There are numerous rooms dedicated to supporting specialized teaching staff as office space. A number of classrooms currently share programs, such as instructional assistant office space within the special education classroom, or a combined staff break area and workroom. There are two kindergarten classrooms operating out of portable buildings and lack dedicated restrooms.



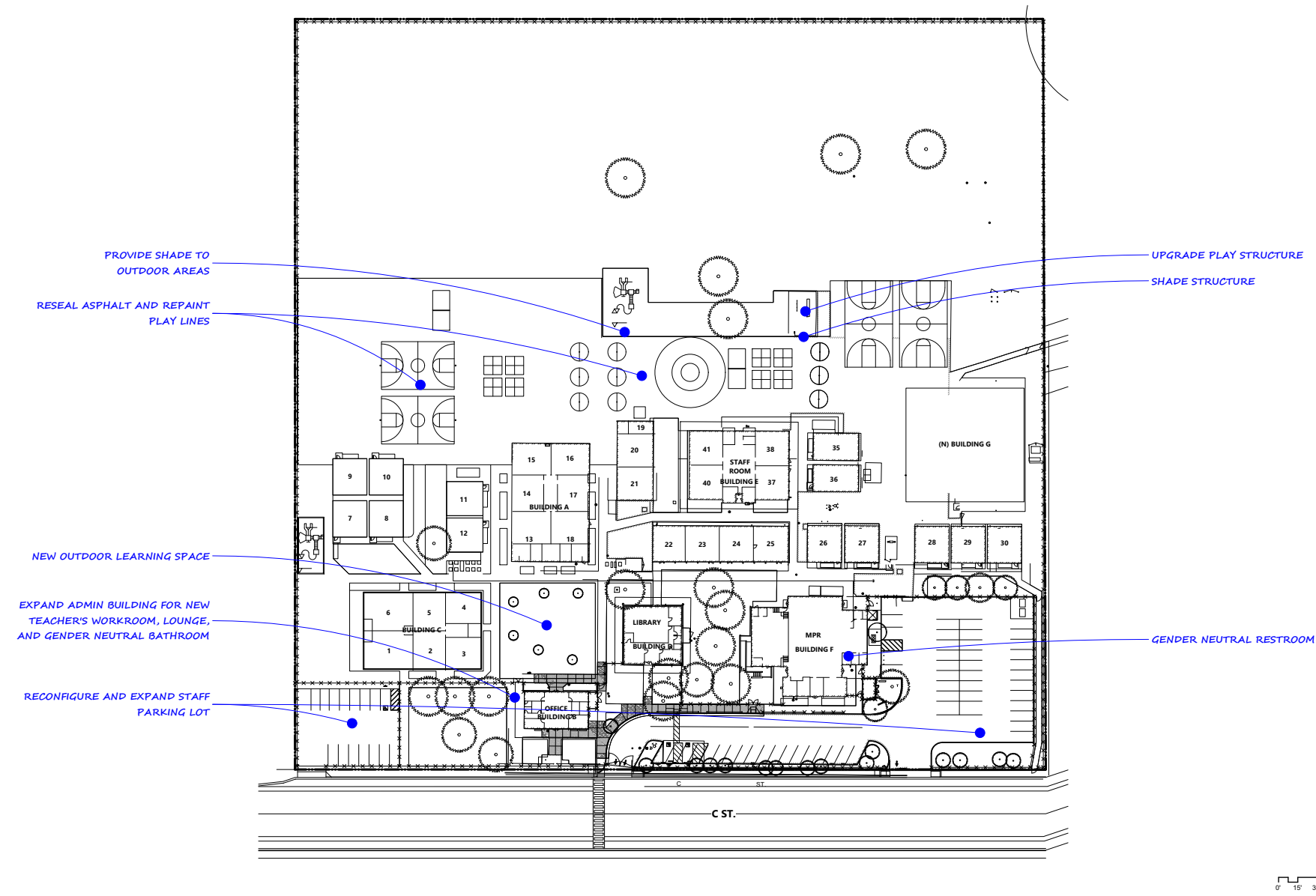
EXISTING UTILIZATION SITE PLAN

- PRESCHOOL
- KINDERGARTEN
- 1ST GRADE
- 2ND GRADE
- 3RD GRADE
- 4TH GRADE
- 5TH GRADE
- 6TH GRADE
- SCIENCE
- PHYSICAL EDUCATION
- SPECIAL EDUCATION / READINESS
- SCOE PROGRAM
- SPECIAL DAY CLASS
- INSTRUCTIONAL ASSISTANT
- MIGRANT ED
- BEHAVIORIST ROOM
- SPEECH
- RESOURCE SPECIAL PROGRAM
- ELOP (CEL)
- SENSORY ROOM
- SOCIAL WORKER
- DI
- LIBRARY
- ADMIN
- PARENT CONFERENCE
- MUSIC
- MULTI-PURPOSE ROOM
- STUDENT SUPPORT
- STAFF WORKROOM
- STAFF BREAKROOM
- STAFF OFFICE
- LACTATION ROOM
- TEACHERS ON SPECIAL ASSIGNMENT
- STUDENT RESTROOMS
- STAFF RESTROOMS
- COUNSELOR / PSYCHOLOGIST / NURSE
- MHC
- MAKER SPACE
- KITCHEN
- ELECTRICAL / IT / CUSTODIAL
- MAINTENANCE
- CURRICULUM / STORAGE





STAKEHOLDER INPUT





MAINTENANCE PROJECTS

BUILDING C

- Minor repairs, maintenance, or replacement of HVAC within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Repair/replace flooring within 10-15 years
- Minor touch-up of wall finishes recommended within next 10-15 years

BUILDING K

- Minor repairs, maintenance, or replacement of hvac within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Minor touch-up of wall finishes recommended within next 10-15 years
- Repair/replace flooring within 10-15 years
- Recommend further accessibility assessment and upgrades

RM 11-12

- Upgrade/replace building signage to comply with current standards
- Minor touch-up of wall finishes recommended within next 10-15 years
- Recommend further accessibility assessment and upgrades

BUILDING A

- Minor repairs, maintenance, or replacement of hvac within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Minor touch-up of wall finishes recommended within next 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Recommend paint doors and patch where needed
- Recommend further accessibility assessment and upgrades

RM 20-36

- Minor repairs, maintenance, or replacement of hvac within 5-10 years
- Immediate hvac replacement at select rooms: 20, 35, 36
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years

- Cosmetic repairs at casework within 3-5 years
- Repair/replace act ceiling within 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Recommend further accessibility assessment and upgrades

BUILDING E

- Minor repairs, maintenance, or replacement of HVAC within 5-10 years
- Upgrade/replace building signage to comply with current standards
- Repair/replace act ceiling within 5-10 years
- Repair/replace flooring within 5-10 years
- Wall surface repair in 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Immediate window repair at select rooms
- Recommend paint doors and patch where needed
- Recommend further accessibility assessment and upgrades

BUILDING B

- Hvac replacement within 1 year
- Upgrade/replace building signage to comply with current standards
- Immediate casework repair at select rooms
- Repair/replace flooring within 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years

BUILDING F

- Recommend patch/paint doors at select rooms

BUILDING D

- Upgrade/replace building signage to comply with current standards
- Repair/replace act ceiling within 5-10 years
- Wall surface repair in 5-10 years
- Minor repairs, maintenance, or replacement of windows recommended within 5-10 years
- Recommend patch/paint doors at select rooms



ONE WAY TO ADDRESS THE NEEDS

Recommended projects at the Valley Oaks campus include the overall expansion of the existing parking lots to accommodate growing need for staff and visitor parking. This would include the expansion of the west parking lot and resurfacing and restriping of the east parking lot. Also proposed are upgrades to the existing play areas with the in-kind replacement of the existing equipment at the upper grade play structure and the addition of shade structures to both campus play areas. This project would include the resurfacing of the existing asphalt play areas at the north of site and the application of colored coating to sports courts and play lines. Modernization of permanent classroom buildings is recommended to improve functionality and aesthetic quality of the spaces, and in turn, promoting staff and student wellness.

The permanent classroom buildings recommended for modernization are: Building A, Building C, and Building E. In addition to upgrading the existing permanent classrooms, the school's relocatable classrooms are operating beyond their lifespan and are in need of urgent replacement. This proposed conceptual plan includes the in-kind replacement of all buildings of portable or modular construction in their existing locations. Valley Oaks would benefit from the development of an outdoor learning space. In this conceptual plan, the greenway east of Building C would provide adequate footprint for the installation of new shade structures and fixed seating to support an outdoor teaching and learning environment. Finally, the existing Admin building is undersized for its current program and would benefit from expansion. The conceptual plan proposes a +/- 1,000 square foot addition to Building B to provide adequate space for a staff workroom, lounge, and gender-neutral restroom.

PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

PARKING LOT RECONFIGURATION

- Expansion of both existing campus parking lots to accommodate growing need for staff and visitor parking. Project would include the expansion and resurfacing of existing asphalt lots.

OPINION OF PROBABLE COST: \$1,077,800

PLAY AREA UPGRADES

- Provide in-kind replacement of existing play equipment at the upper grade play structure, provide metal shade structures at both campus play areas, resurface existing asphalt hardscape and provide colored asphalt coating to play courts.

OPINION OF PROBABLE COST: \$2,724,800

OUTDOOR LEARNING SPACES

- This project would bring to campus a dedicated outdoor learning space, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$1,087,500

ADMIN BUILDING EXPANSION

- This project includes the expansion of the existing campus Admin building to allocate space for a new staff workroom, breakroom, and gender-neutral restroom, and the reconfiguration of the existing Admin space to suit current programmatic needs.

OPINION OF PROBABLE COST: \$3,692,500

BUILDING MODERNIZATION

- Individual modernization of existing permanent classroom buildings to include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures. Modernization projects are recommended for the following buildings:

- Building A

OPINION OF PROBABLE COST: \$5,540,000

- Building C

OPINION OF PROBABLE COST: \$5,540,000

- Building E

OPINION OF PROBABLE COST: \$4,875,200

PORTABLE CLASSROOM REPLACEMENT

- In-kind replacement of the campus's aging relocatable classrooms: rooms 7, 8, 9, 10, 12, 13, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 42, & 43

OPINION OF PROBABLE COST: \$38,783,200

GENDER-NEUTRAL RESTROOM

- Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building F).

OPINION OF PROBABLE COST: \$85,900

PROPOSED MASTER PLAN



LEGEND

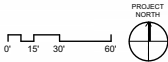
- DEFERRED MAINTENANCE ITEMS
- LIGHT MODERNIZATION
- REPURPOSE, RECONFIGURATION FOR NEW PROGRAM, OR FULL MODERNIZATION
- NEW CONSTRUCTION
- PORTABLE REPLACEMENT
- NEW METAL SHADE STRUCTURE
- NEW SAIL SHADE STRUCTURE
- OUTDOOR LEARNING CLASSROOM
- (E) OVERHEAD WALKWAY SHADE
- LANDSCAPING
- (E) PAVING
- SITE WORK/RECONFIGURATION
- PAVING, RESEAL, & STRIPING OF ASPHALT/HARDSCAPE
- (E) PLAYGROUND
- NEW OR IMPROVEMENTS AT PLAYGROUND

(U) (B) (G) (S) (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM

SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- (E) FENCE
- FENCING REPAIRS/NEW FENCE/GATES
- PROPERTY LINE
- (E) TREE
- (N) TREE

TOTAL ACREAGE +/- 9





CONCLUSION

There are numerous improvement projects recommended for Valley Oaks Elementary School. As one of the district's older campuses, many of the existing permanent buildings are in need of maintenance, modernization, and aesthetic improvements. This master plan recommends that classroom buildings A, C and E are renovated and brought to modern standards, to improve experience and daily usability for their users.

The relocatable classroom buildings are in urgent need of replacement. After communicating with campus leadership, it was preferred that the portables be replaced in-kind and in their existing location to maintain the current campus flow and building orientation.

In addition, the school's outdoor spaces are in need of improvement. The proposed expansion of parking lots aim to address the growing demand for parking while enhancing traffic flow. Upgrades to play areas, including the addition of an outdoor learning space and shade structures throughout campus provide for an elevated outdoor learning environment.

Lastly, an expansion of the Administration Building will ensure that it adequately meets current and future program needs, with additional space allocated for a staff workroom, dedicated breakroom, and gender-neutral restroom. Collectively, these projects will contribute to the continued success and advancement of the Valley Oaks Elementary School campus, providing a safe, welcoming, and beneficial learning environment for all.





FAIRSITE
ELEMENTARY &
EARLY LEARNING
CENTER



SCHOOL DATA

902 Caroline Avenue, Galt, CA 95632



Year Built: 1956

Modernizations and Campus Additions: 2015, 2022, 2023

Acreage : 8 Acres

Current Enrollment: 284

Total Classroom Spaces:	TK	5
	Kindergarten	3
	Special Ed	5
	ELOP	4
	Additional	10
	Total	27

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

The Fairsite Elementary & Early Learning Center campus is located at 902 Caroline Avenue, Galt, CA. The campus is bounded to the north by Caroline Avenue, to the east by Chabolla Community Center, City of Galt Parks and Recreation, Chabolla Skate Park, and Gora Aquatic Center, and to the south and west by South Lincoln Way. The site is a relatively rectangular, 8-acre site that has its long axis in the north-south direction, parallel to Chabolla Avenue. The school's campus is comprised of five permanent buildings and fourteen portable classroom buildings. The permanent buildings are centralized around paved and landscaped areas with a cluster of portable classroom buildings located at the southwestern perimeter of the site. The five permanent structures house the school's library, support spaces, multi-purpose space, preschool, and kindergarten classrooms. The campus's portable classroom buildings house the administration office, physical education, and support spaces, with two portables dedicated for use by an external organization. The campus has two blacktop areas abutting playground areas with structures. The areas are in the southern and western portions of the site serving an enclosed preschool area and all remaining classrooms. West of this paved area is a large, underutilized grass field. There are two parking lots with the entrances off Caroline Avenue and the exit along South Lincoln Way. The eastern parking lot directly in front of the multi-purpose room includes staff and visitor parking with three stalls that, at the time of this assessment, are designated by the campus as accessible parking stalls. There is paved pedestrian egress between the staff and visitor parking lot and the school's main entrance. It is recommended that the campus be evaluated further to confirm compliance with current ADA requirements. The second parking lot is to the south of the portable building and is used for staff and visitor parking. The bus drop-off area is located on Caroline Avenue. Vehicular egress runs north-south through the existing parking areas with ingress and egress at Caroline Avenue and S. Lincoln Way.

BUILDINGS

Fairsite Elementary & Early Learning Center was originally constructed in 1956 with buildings A and A-2. Buildings B and C were constructed in 1961 and the preschool classrooms were built in 1967 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of wood framing, metal framed single-pane windows, exterior stucco and brick with wood trim, steel columns, and concrete slab flooring. The building materials for the portable classroom buildings include plywood siding and wood trim, metal framed single-pane windows, buildings are set on concrete and AC paving with metal and wood ramps. Buildings A multi-purpose and A-2 classrooms are connected by a covered breezeway, while the rest of the buildings on campus are free-standing. The roofs on the permanent buildings are aging and most need preventative maintenance and it is recommended that select roofs be considered for major repair for continued operation. It was also observed that many of the campus HVAC units and systems be considered for immediate repair or replacement. The majority of portable classroom buildings' roofs appeared to be in acceptable condition and would only warrant minor repairs at the time of assessment. Portable classroom buildings 34 and 36 appeared to be severely dilapidated and constitute immediate replacement. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. Student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements.

PROGRAM SPACES

Two Kindergarten classrooms have their own restrooms which appeared to be candidates for an accessibility evaluation. Modernized and expanded instructional and support spaces are required throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, additional staff restroom, shade structures, conference room and offices, reconfigure front of campus and parking to allow for new bus and student drop off, etc. Staff and community at this campus have expressed the desire for additional/supplemental program spaces as well as the modernization of existing facilities.



Ceiling tiles are warping



Cracks and gaps appearing on asphalt



Portables in major need of repair



Water damage to ceiling tiles



Concrete cracked and wooden fence damaged



Portables in major need of repair



Drinking fountain damaged

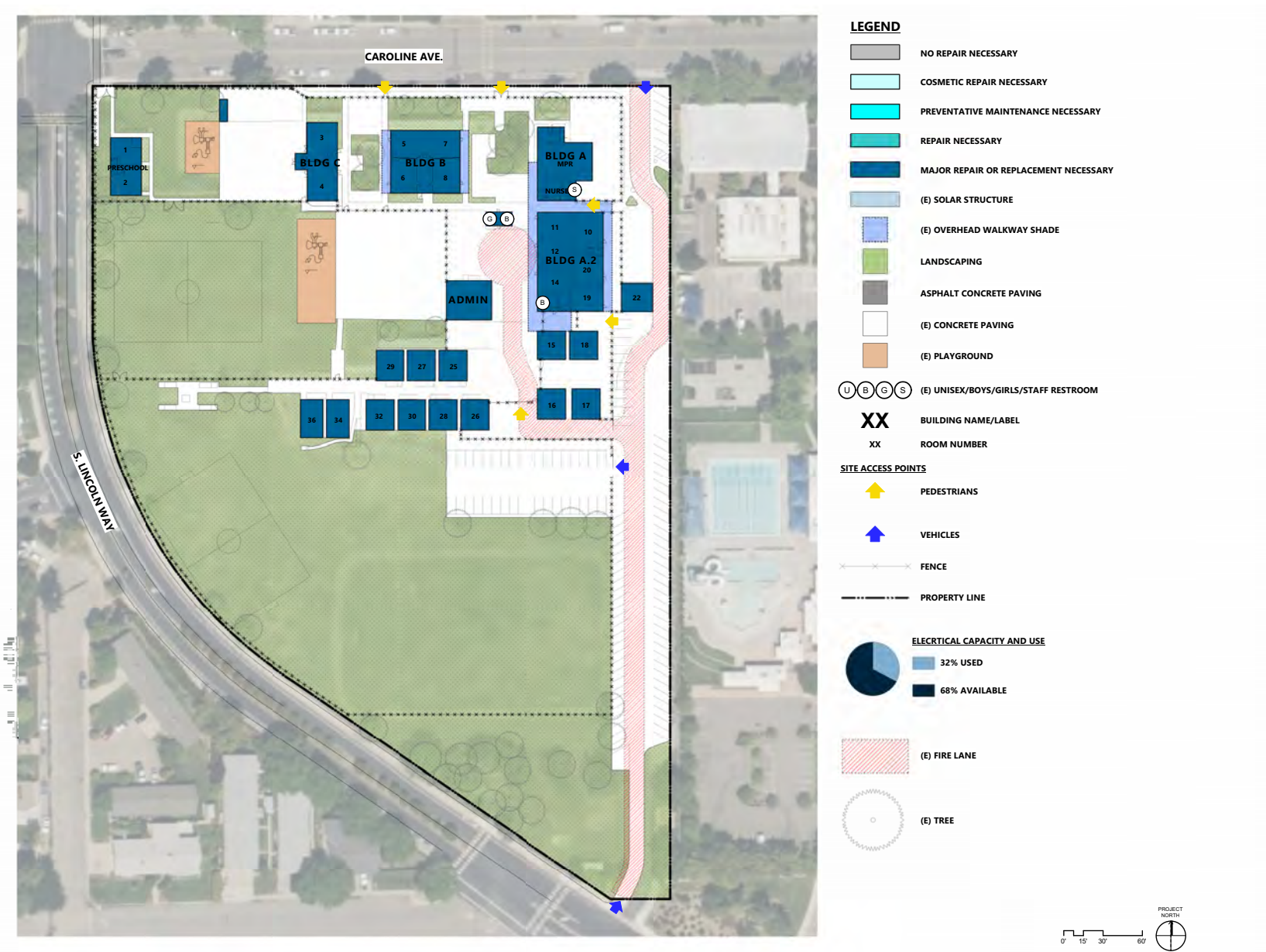


Ramps have sign of wear and tear



Portables in major need of repair

ASSESSMENT SITE PLAN



FACILITY ASSESSMENT DATA SCORING SHEETS

This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT FAIRSITE ELEMENTARY AND EARLY LEARNING CENTER																											FACILITY ASSESSMENT			
This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.																														
Rating Key																														
1= no repair necessary																														
2= cosmetic repair necessary																														
3= preventative maintenance necessary																														
4= repair necessary																														
5= repair necessary for use past 2 years																														
6= major repair needed for immediate continued use																														
1-5 6-10 11-15 16-20 21-25 26+																														
BUILDING	ROOM	USE	DS#	YEAR BUILT	AGE	AGE SINCE MOD	HAZ	STRUCT.	FLS	ADA	EXT BLDG	SITE	DOORS	ROOF	WINDOWS	LIGHTING	FURNITURE	WALL FINISHES	FLOOR	WALLS	CEILING	CASEWK	FIXTURES	ACOUS	EXT PAINT	SIGNAGE	HVAC	AESTH.	SUM	PRIORITY FACTOR
PRESCHOOL	Room 1	SPED (Hamrick)	#30310	1967	56	56			1	1	1	1	4	2	3	3	2	3	3	4	4	0	4	2	1	1	6	4	49	54.9
PRESCHOOL	Room 2	SPED (Hamrick)	#30310	1967	56	56			1	1	1	1	3	2	3	3	2	2	3	3	4	6	3	2	1	1	6	3	50	56.0
PRESCHOOL	RR	RR 2	#30310	1967	56	56			1	1	1	1	4	2	0	1	2	2	3	3	3	0	4	4	1	1	6	3	42	47.0
PRESCHOOL		RR 1	#30310	1967	56	56			1	1	1	1	4	2	0	1	2	3	3	4	3	0	4	4	1	1	6	3	44	49.3
C	Room 3 + RR	SPED PRESCHOOL (Isordia)	#21573	1961	62	62			1	2	1	1	3	2	4	1	2	5	3	6	4	0	0	2	1	1	6	2	46	57.0
C	Room 4 + RR	SPED PRESCHOOL (Arana)	#21573	1961	62	62			1	2	1	1	3	2	4	1	2	3	2	4	4	3	3	2	1	1	6	3	48	59.5
C	Storage	Storage	#21573	1961	62	62			1	2	1	0	2	0	0	1	2	0	3	0	0	0	0	3	1	1	6	3	26	32.2
C	POD	POD	#21573	1961	62	62			1	2	1	1	3	2	0	1	2	2	2	3	4	3	3	4	1	1	6	3	44	54.6
B	Room 5	TK (Jaurez)	#21573	1961	62	62			1	2	1	1	3	3	4	1	2	5	2	6	4	6	3	4	2	1	6	4	60	74.4
B	Room 6	Preschool (Turner)	#21573	1961	62	62			1	2	1	1	3	3	0	1	1	3	2	4	6	6	3	4	2	1	6	4	53	65.7
B	Room 7	Preschool (Marquez)	#21573	1961	62	62			1	2	1	1	3	3	4	1	1	5	2	6	4	4	3	4	2	1	4	4	55	68.2
B	Room 8	Preschool (DuBois)	#21573	1961	62	62			1	2	1	1	3	3	4	1	1	5	3	6	6	4	3	4	2	1	6	4	60	74.4
B	Staff Work Room	Staff Work Room	#21573	1961	62	62			1	2	1	1	3	3	4	1	1	3	4	4	4	4	3	2	2	1	6	4	53	65.7
B	RR	Single Rest Room	#21573	1961	62	62			1	2	1	1	6	3	6	1	1	3	4	4	1	0	4	2	2	1	6	4	52	64.5
B	POD	POD	#21573	1961	62	62			1	2	1	1	3	3	0	1	1	3	2	4	6	6	3	4	2	1	6	4	53	65.7
A	Room 9	Health Office	#13459	1956	68	68			1	2	2	2	6	3	4	2	2	3	2	4	4	0	4	1	2	1	1	4	48	65.3
A	Room 9	Health Private Office	#13459	1956	68	68			1	2	2	2	6	3	4	2	2	2	2	3	3	4	3	1	2	1	1	4	48	65.3
A	Room 9	Health Rest Room	#13459	1956	68	68			1	2	2	2	3	3	0	2	2	2	3	3	1	0	3	1	2	1	1	3	35	47.6
A	Room 9	Private Office 2	#13459	1956	68	68			1	2	2	2	3	3	0	1	2	3	2	4	2	0	2	4	2	1	1	3	38	51.7
A	Room 9	Private Office 3	#13459	1956	68	68			1	2	2	2	3	3	4	1	2	2	2	3	4	4	3	4	2	1	1	4	48	65.3
A	Room 9	Work Room	#13459	1956	68	68			1	2	2	2	4	3	3	1	2	5	3	6	6	6	3	1	2	1	1	5	57	77.5
A	Room 9	Water Heater	#13459	1956	68	68			1	2	2	0	3	0	0	0	2	0	0	0	0	0	0	2	2	1	1	4	20	27.2
A	Multi-Purpose Room	MPR	#13459	1956	68	68			1	2	2	2	2	3	2	3	2	3	4	4	3	0	4	4	2	1	6	4	52	70.7
A	Kitchen	Kitchen	#13459	1956	68	68			1	2	2	2	2	3	4	3	2	2	4	3	4	0	3	4	2	1	6	4	52	70.7
A	Closet	Outdated Elec Equip/Wom/SP Win	#13459	1956	68	68			1	2	2	0	3	4	3	2	3	3	4	3	0	4	0	2	1	6	4	47	63.9	
A.0	Freezer	Walk-in Cooler	#13459	1956	68	68			1	2	2	2	3	0	0	2	2	2	2	0	0	0	2	1	6	4	23	31.3		
A.2	Room 10	School Readiness Center	#13459	1956	68	68			1	2	2	2	3	3	4	1	2	3	2	4	4	6	3	3	2	1	1	4	51	69.4
A.2	Room 11	Preschool	#13459	1956	68	68			1	2	2	2	3	3	6	1	1	3	4	4	4	6	3	4	2	1	1	4	55	74.8
A.2	Room 12	Preschool	#13459	1956	68	68			1	2	2	2	3	3	4	1	1	3	3	4	4	6	4	3	2	1	1	4	52	70.7
A.2	Room 14	TK-West	#13459	1956	68	68			1	2	2	2	4	3	4	1	1	3	3	4	4	6	4	3	2	1	1	4	53	72.1
A.2	Room 14A	Boys Bathroom	#13459	1956	68	68			1	2	2	4	3	4	3	1	2	6	3	4	0	3	2	2	1	1	4	48	65.3	
A.2	Room 14A	Girls Bathroom	#13459	1956	68	68			1	2	2	2	3	0	1	1	3	4	4	2	0	4	1	2	1	1	1	3	37	50.3
A.2	Room 14A	Electrical Storage	#13459	1956	68	68			1	2	2	0	3	0	1	1	-	0	3	0	0	0	0	3	2	1	1	3	22	29.9
A.2	Room 19	TK	#13459	1956	68	68			1	2	2	2	3	3	4	1	1	2	2	3	3	6	3	3	2	1	1	3	46	62.6
A.2	Room 20	TK	#13459	1956	68	68			1	2	2	2	3	3	4	1	1	2	4	3	3	6	3	3	2	1	1	3	48	65.3
K	Room 22	Exp Learn	#49231	1987	36	36			1	2	1	1	3	2	3	1	1	3	2	4	4	0	3	3	2	1	6	3	45	61.2
F	Room 15	EC Home Visitors	#41882	1978	45	45			1	1	1	1	3	2	3	1	1	2	2	3	3	0	3	2	1	1	1	3	34	24.5
E	Room 18	Steam Room	#41882	1978	45	45			1	1	1	3	3	2	4	1	1	3	3	3	2	3	2	2	1	1	6	3	45	40.5
G	Room 16	Park & Rec	#45055	1983	40	40			2	2	2	2	6	2	3	2	2	2	4	3	3	0	3	2	2	3	3	3	49	39.2
H	Room 17	Park & Rec	#45194						2	1	1	1	3	2	3	3	1	3	3	4	4	0	3	2	1	1	1	3	41	
N	Room 25	Staff Room	#54048	1990	33	33			1	1	1	3	3	2	3	2	1	3	4	4	3	4	3	1	1	1	6	4	50	33.0
W	Room 26	FS Storage	#54048	1990	33	33			1	1	1	2	3	2	3	1	2	2	4	3	4	4	3	1	1	1	6	4	48	31.7
O	Room 27	Speech	#54048	1990	33	33			1	1	2	2	3	2	3	2	2	3	3	4	3	3	3	2	1	1	6	3	48	31.7
V	Room 28	Preschool Library	#54048	1990	33	33			2	1	2	2	3	2	3	1	1	2	4	3	3	0	0	1	1	1	6	3	39	25.7

FACILITY ASSESSMENT DATA SCORING SHEETS

P	Room 29	Migrant	#54048	1990	33	33																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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OBSERVATIONS OF CURRENT FACILITY UTILIZATION

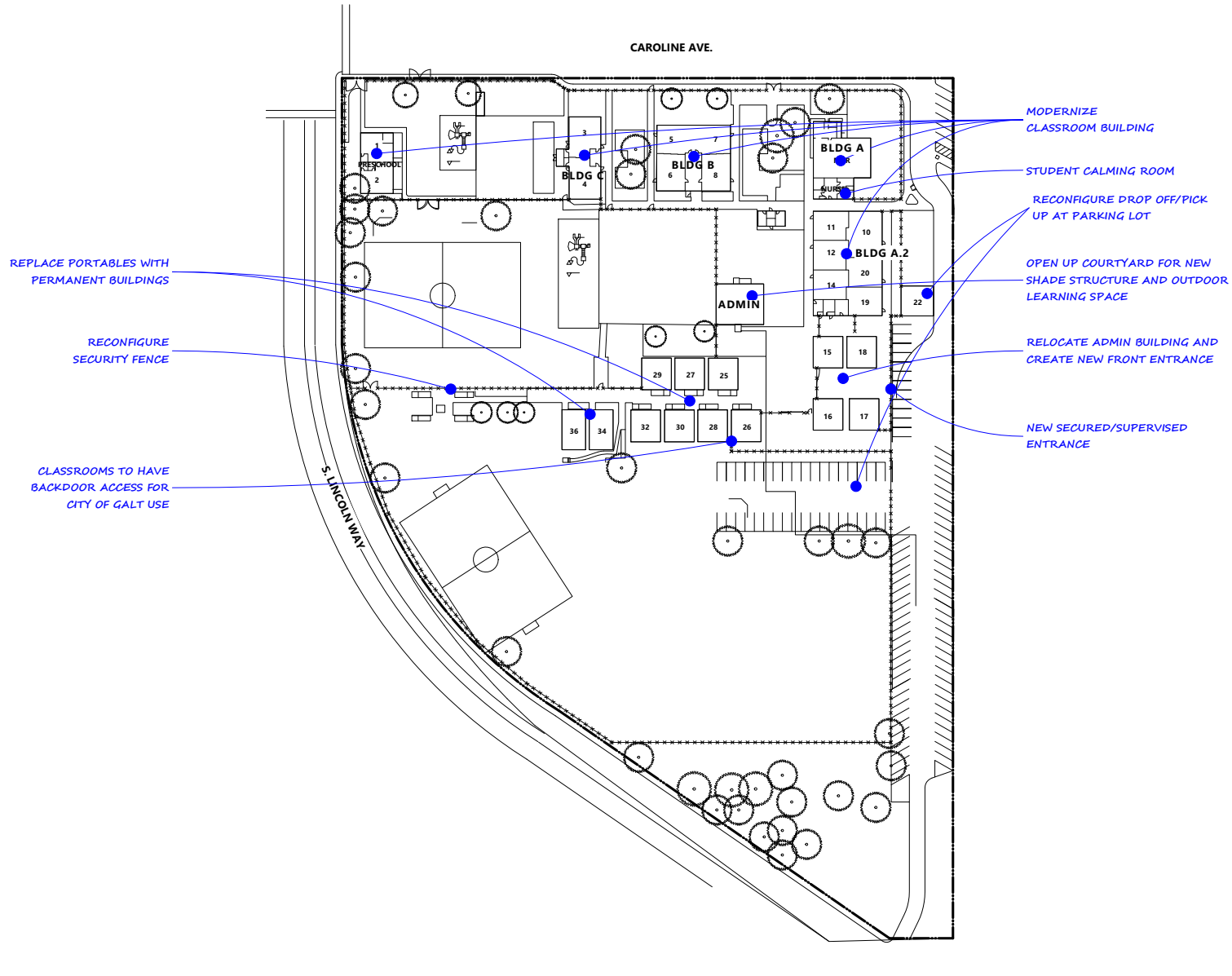
Two portables are currently being used and operated by external programs. Currently T-K classes are currently disintegrated across two buildings. Special education classrooms and instructional assistant offices are also disconnected by distance. There are numerous portable classrooms that are underutilized by current program space and are being used as curriculum storage for this campus and others.

EXISTING UTILIZATION SITE PLAN





STAKEHOLDER INPUT



MAINTENANCE PROJECTS

PRESCHOOL

- HVAC System replacement recommended within next year
- Damaged casework, replacement recommended within next 3 years
- Paint and patch doors as general maintenance, update hardware in next 5 years
- Light fixture replacement in the next 7-10 years
- General surface repair of walls in next 4-10 years
- General repair and maintenance of ceilings in next 5-10 years
- Update outdated fixtures where necessary

BUILDING C

- Repair and maintenance of walls recommended within next year
- General surface repair of wall finishes in next 5 years
- General surface repair of floors in next 4-10 years
- General repair and maintenance of ceilings in next 5-10 years
- Aging windows, repair or replace in next 5-10 years

BUILDING B

- Paint and patch doors as general maintenance, update hardware in next 5 years
- General roof maintenance needed, replace in next 5-10 years
- Aging windows, repair or replace in next 5-10 years
- General surface repair of wall finishes in next 3 years
- Repair and maintenance of walls recommended within next 3 years
- General repair and maintenance of ceilings in next 3-5 years
- Aging casework, replacement recommended within next 3-5 years
- Update outdated fixtures where necessary
- Maintenance/minor repair of acoustic tile in next 10-15 years

BUILDING A

- Paint and patch doors as general maintenance, update hardware in next 5 years
- General roof maintenance needed, replace in next 5-10 years
- Aging windows, repair or replace in next 7-10 years

- General surface repair of wall finishes in next 7 years
- Repair and maintenance of walls recommended within next 5 years
- General repair and maintenance of ceilings in next 3-5 years
- Aging casework, replacement recommended within next 5-10 years

ROOM 10-14

- General roof maintenance needed, replace in next 5-10 years
- Aging windows, repair or replace in next 5-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years
- Damaged casework, replacement recommended within next 3 years
- Update outdated fixtures where necessary
- Maintenance/minor repair of acoustic tile in next 10-15 years

ROOM 22

- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 5-7 years
- HVAC system replacement recommended within year

ROOM 15 and 18

- Aging windows, repair or replace in next 5-10 years
- HVAC System replacement recommended within next year

ROOM 16 and 17

- Repair or replace door, frame, and hardware; recommended within next year
- General surface repair of floors in next 5-7 years
- Repair and maintenance of walls recommended within next 5-7 years
- General repair and maintenance of ceilings in next 5-7 years

ROOM 34 and 36

- Dilapidated conditions, recommend demolish outright and replace

MAINTENANCE PROJECTS

ROOM 25 and 32

- General roof maintenance needed, replace in next 5-10 years
- Windows damaged or inoperable, replacement recommended in next year
- General surface repair of floors in next 5-7 years
- Update outdated fixtures where necessary
- Paint and patch doors as general maintenance, update hardware in next 7 years
- Aging windows, repair or replace in next 7-10 years
- General surface repair of floors in next 4-10 years
- Repair and maintenance of walls recommended within next 7-10 years
- General repair and maintenance of ceilings in next 7-10 years
- HVAC upgrade/replacement recommended within year

ADMIN BUILDING

- Deficient HVAC system, replacement recommended within next year
- Paint and patch doors as general maintenance, update hardware in next 7-10 years
- General roof maintenance needed, replace in next 5-10 years
- Repair and maintenance of walls recommended within next 7-10 years



ONE WAY TO ADDRESS THE NEEDS

Among all other campuses in the district, Fairsite Elementary and Early Learning Center is in most need for modernization, reconfiguration, and improvements. First, our conceptual plan proposes the construction of a new Admin building of permanent construction at the southeast corner of site and the reconfiguration of the drop-off area to accommodate the new campus entry. On top of being the oldest campus, with most of the buildings constructed in the mid-twentieth century, Fairsite has also gone the longest without facilities improvements. This conceptual plan proposes the modernization of the following buildings: the Preschool at the eastern side of campus, Building C, Building B, Building A, and Building A.2. Also recommended is the replacement of all existing portables with either in-kind replacement, or new permanent classroom and support buildings at the southern perimeter of campus. Also recommended is the conversion of the center of campus into develop a dedicated outdoor learning space, complete with new fabric shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes such as rubberized surfacing or synthetic turf to provide an outdoor environment for teaching and learning.

PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

PARKING LOT RECONFIGURATION

- Improvements to the north-south traffic circulation through the existing shared parking lot. Scope to include removal/relocation of one existing portable classroom, reconfiguration of the existing asphalt parking lot, and the resurfacing of the existing lot south of campus.

OPINION OF PROBABLE COST: \$980,500

OUTDOOR LEARNING SPACES

- This project would bring to campus a dedicated outdoor learning space, complete with new fabric sail shade structures, fixed outdoor seating, and resurfacing of the existing hardscape with paving and ground surface finishes, such as rubberized surfacing or synthetic turf.

OPINION OF PROBABLE COST: \$813,600

NEW ADMINISTRATION BUILDING

- Addition of a new administration building of permanent construction to be located at the south-east corner of site. Building would replace the current relocatable admin space and include private offices, restrooms, staff workroom, breakroom and conference spaces to be defined through future programming.

OPINION OF PROBABLE COST: \$5,900,100

BUILDING MODERNIZATION

- Individual modernization of existing permanent classroom buildings to include the repair or replacement of finishes, casework, HVAC equipment, power, data, and lighting fixtures. Modernization projects are recommended for the following buildings:

- Preschool

OPINION OF PROBABLE COST: \$1,093,000

- Building A

OPINION OF PROBABLE COST: \$1,913,000

- Building A.2

OPINION OF PROBABLE COST: \$3,716,000

- Building B

OPINION OF PROBABLE COST: \$2,459,000

- Building C

OPINION OF PROBABLE COST: \$1,530,200

NEW CLASSROOM BUILDINGS

- Addition of new classroom buildings of permanent construction to be located at the south of campus. New permanent buildings would house twelve individual classrooms to replace the existing relocatable classrooms: 25, 26, 27, 28, 29, 30, 32, 34, & 36. Project would include the in-kind replacement of the two city-operated portables 16 & 17.

OPINION OF PROBABLE COST: \$17,469,000

PROPOSED MASTER PLAN



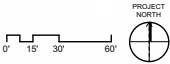
- LEGEND**
- DEFERRED MAINTENANCE ITEMS
 - LIGHT MODERNIZATION
 - REPURPOSE, RECONFIGURATION FOR NEW PROGRAM, OR FULL MODERNIZATION
 - NEW CONSTRUCTION
 - PORTABLE REPLACEMENT
 - NEW METAL SHADE STRUCTURE
 - NEW SAIL SHADE STRUCTURE
 - OUTDOOR LEARNING CLASSROOM
 - (E) OVERHEAD WALKWAY SHADE
 - LANDSCAPING
 - (E) PAVING
 - SITE WORK/RECONFIGURATION
 - PAVING, RESEAL, & STRIPING OF ASPHALT/HARDSCAPE
 - (E) PLAYGROUND
 - NEW OR IMPROVEMENTS AT PLAYGROUND

(U) (B) (G) (S) (E) UNISEX/BOYS/GIRLS/STAFF RESTROOM

SITE ACCESS POINTS

- PEDESTRIANS
- VEHICLES
- (E) FENCE
- FENCING REPAIRS/NEW FENCE/GATES
- PROPERTY LINE
- (E) TREE
- (N) TREE

TOTAL ACREAGE +/- 14





CONCLUSION

In conclusion, Fairsite Elementary and Early Learning Center, being the oldest of the district's school sites is in urgent need for upgraded facilities. This master plan recommends that all existing permanent buildings be further evaluated and brought to current standards for finish, fixture, and technological requirements to improve day-to-day operations and wellness of staff and students alike.

The site provides numerous opportunities for improvement. The replacement of the portable Admin building with a new, permanent facility would provide staff and visitors with expanded space and amenities, such as a much-needed dedicated library space. A number of the campus's portable buildings are in urgent need of outright replacement. This master plan provides allowances for a new permanent classroom facility to frame the south of campus. Additionally, the campus is a candidate for the implementation of outdoor learning spaces, which would feature fabric shade structures and seating to create an environment for outdoor teaching and learning. These proposed improvements aim to bring Fairsite Elementary and Early Learning Center up to modern standards, providing a safer, more functional, and conducive environment for students and staff.





ROBERT L
MCCAFFREY
MIDDLE



SCHOOL DATA

997 Park Terrace Drive, Galt, CA 95632



Year Built:	2003
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Modernizations and Campus Additions:	2004, 2009
--------------------------------------	------------

Acreage :	34.2 Acres
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Current Enrollment:	768
---------------------	-----

Total Classroom Spaces:	Social Studies	6
	Science	6
	Art	3
	English	6
	Math	5
	Special Ed	4
	ELOP	6
	Additional	4
	Total	40

SITE AERIAL



SCHOOL SITE DESCRIPTION

SITE

The Robert L. McCaffrey Middle School campus is located at 997 Park Terrace Drive, Galt, CA. The campus is bounded to the north by private residences, to the east by Marengo Road, to the south by private residences, and to the west by Park terrace Drive. The site is a relatively rectangular, 34.2-acre site on an axis running east-west, parallel to Shalford Way. The campus is comprised of nine permanent buildings, which are located approximately at the southwest end of the site and twelve portable classroom buildings located at the southeast end of the site. The nine permanent buildings house the school's library, administrative and support spaces, multipurpose room, gymnasium and locker room, and classrooms. Four permanent buildings are centralized around a landscaped "quad" area, while the multi-purpose room and gymnasium line the site's northern boundary and the administration and library buildings fall on the west end of site. The campus's east side is framed by blacktop play areas and two portable classroom wings. The portable classrooms house classrooms, the school's music room, and special day classes. East of the portable classroom wings are the school's dedicated track and sports field with bleacher seating. This area is enclosed by a fenced perimeter. There is one parking lot with ingress and egress along Park Terrace Drive. The parking lot is located west of the administration building and contains a bus drop-off area, staff and visitor parking with six spaces that at the time of the assessment were designated by the campus as accessible. There is paved pedestrian circulation between the visitor parking lot and the school's main entrance. The path is defined by signage, pavement striping, a curb cut, a sidewalk ramp and a sidewalk.

BUILDINGS

Robert L. McCaffrey Middle School was originally constructed in 2003 with subsequent alterations completed since its construction. Generally, the construction of the original school buildings consists of wood framing, metal framed dual-pane windows, exterior stucco, brick and ceramic tile with metal trim, steel tubing columns, and concrete slab flooring. The building materials for the portable classroom Buildings include plywood siding and wood trim, metal framed single-pane windows, and exterior concrete at the front of the classrooms set on dirt with permanent venting. All the permanent buildings are free-standing and not connected by covered walkway. The roofs on the permanent buildings appeared, at the time of assessment, to be in generally in acceptable condition. It is recommended that campus HVAC equipment and systems be considered for repair or replacement for continued operation. All portable classroom buildings' roofs appeared to be in acceptable condition. The site, hardscape, and pedestrian paths of travel throughout the campus appeared, at the time of this assessment, to be in acceptable condition. It is recommended that further accessibility evaluation take place to confirm compliance with modern ADA and fire life safety ordinances. Student restrooms, drinking fountains and parking stalls require updated signage to comply with current accessibility requirements.

PROGRAM SPACES

Modernized and expanded instructional and support spaces are required throughout the campus to meet desired instructional needs, e.g. flexibility, outdoor learning, obstacle course equipment, track and field equipment, new gymnasium with correct court sizes for middle school, gender neutral student restroom, etc. Staff and community at this campus have expressed the desire for additional/ supplemental program spaces as well as the modernization of existing facilities.



Drinking fountain damaged/broken



Mechanical equipment and roof aging



Restroom tiles are cracking



Cracks appearing on asphalt



Water overflowing on lawn from plumbing



Water damage to ceiling tiles

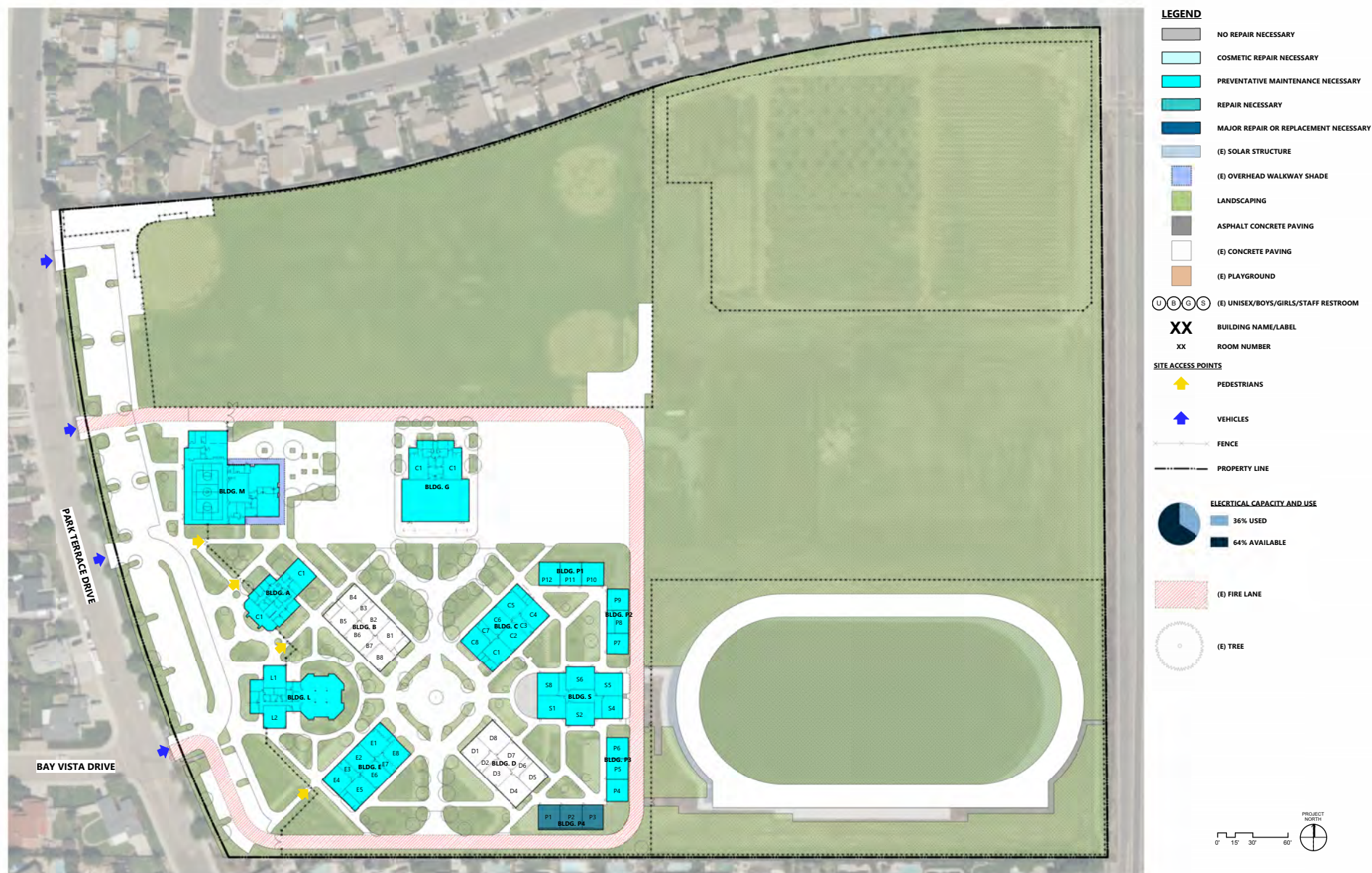


Water dripping on exterior wall leaving deposits



Carpet in classroom has tears

ASSESSMENT SITE PLAN



This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.

GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT																				FACILITY ASSESSMENT									
ROBERT L. MCCAFFREY MIDDLE SCHOOL																													
This worksheet establishes data for determination of priority projects across a campus or district wide level. Please note that the findings in this spreadsheet are based on the architect's field observations only. In the event any hazardous, structural, or fire and life safety discrepancies are witnessed by the architect, the district may be required to conduct additional testing or research to ensure the safety of the students, staff, and community. The architect will report any findings of this nature to the district.																													

2024 DISTRICT FACILITIES MASTER PLAN




FACILITY ASSESSMENT DATA SCORING SHEETS

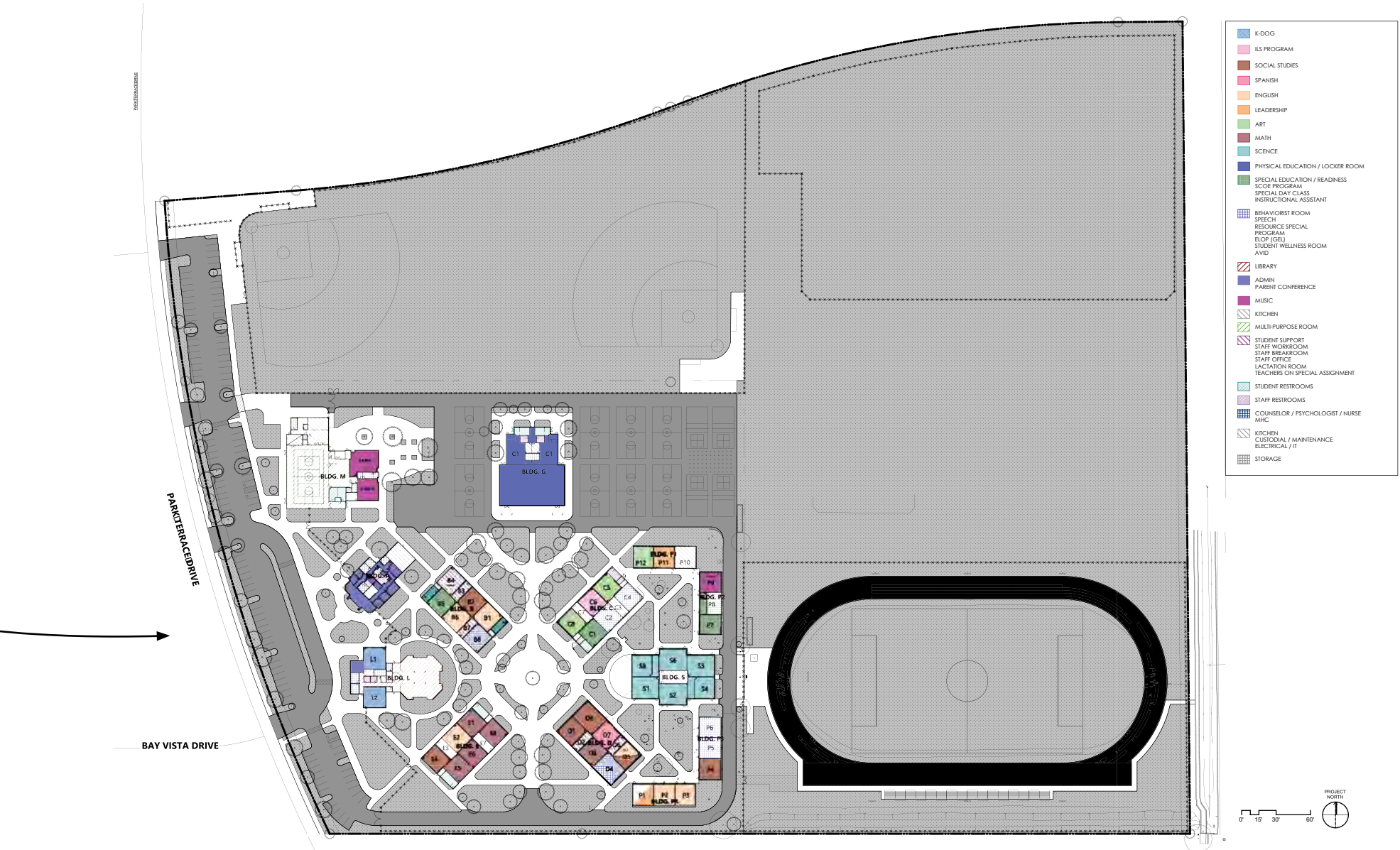
M	Dry Storage		02-103838	2003	21	21							1	2	3	2	-	2	1	1	2	2	2	2	-	3	1	1	1	1	6	2	32	19.4
M	Wet Closet		02-103838	2003	21	21							1	2	3	2	-	1	1	2	2	3	3	2	-	3	1	1	1	1	6	2	34	19.3
M	Electrical		02-103838	2003	21	21							1	2	3	2	-	2	1	3	3	4	2	-	-	1	1	1	1	6	2	34	19.3	
M	Student store		02-103838	2003	21	21							1	2	3	2	4	3	1	5	6	6	1	3	3	1	1	1	1	6	2	51	21.4	
M	Switchgear		02-103838	2003	21	21							1	2	6	2	-	2	1	1	-	1	-	-	-	1	1	1	1	6	2	27	11.3	
G	GYM	GYM	02-103838	2003	21	21							1	1	3	2	2	1	1	2	2	3	3	-	3	2	1	1	1	6	2	36	19.1	
G	Girls Locker Room	GLR	02-103838	2003	21	21							1	1	2	2	-	2	1	2	3	3	2	-	3	1	1	1	1	6	2	33	18.9	
G	Girls Restroom	GRR	02-103838	2003	21	21							1	1	3	2	-	1	1	2	3	3	2	-	2	1	1	1	1	6	2	32	15.4	
G	Girls Coach	GLR office	02-103838	2003	21	21							1	1	2	2	2	1	2	1	2	2	1	-	1	1	1	1	1	1	2	24		
G	Staff Restroom	Staff RR	02-103838	2003	21	21							1	1	2	2	-	1	1	1	2	1	1	-	3	-	1	1	1	1	2	21		
G	Staff Restroom	Staff RR2	02-103838	2003	21	21							1	1	2	2	-	1	1	2	2	3	1	-	4	-	1	1	1	1	2	25		
G	Boys Coach Office	MLR Office	02-103838	2003	21	21							1	1	2	2	2	2	2	2	3	3	2	-	-	1	1	1	1	1	2	28	11.6	
G	Boys Locker Room	MLR	02-103838	2003	21	21							1	1	2	2	-	2	1	2	3	3	2	-	4	1	1	1	1	6	2	34	16.3	
G	Boy Restroom	MRR	02-103838	2003	21	21							1	1	2	2	-	2	1	2	4	3	3	-	4	1	1	1	1	Mc	2	30	12.6	
G	Girls Toilet /Shower	Used for storage?	02-103838	2003	21	21							1	1	2	2	-	1	1	2	2	2	1	-	1	3	1	1	1	6	2	29	12.2	
G	Boys Toilet/Shower		02-103838	2003	21	21							1	1	2	2	-	1	1	2	2	2	2	1	-	1	3	1	1	6	2	29	12.2	
Misc. / Site		REPAIRS																																
Misc. / Site	Parking Lots	Asphalt Slurry			2017								-	-	2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	3		
Misc. / Site	Blacktops Area	Restriping			2016								-	-	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1		
Misc. / Site	Exterior Painting				2023								-	-	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1		
Misc. / Site	Exterior Painting Portables				2021								-	-	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1		
Misc. / Site	Roofing	Original											-	-	2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	2		
Misc. / Site	Fire & Intrusion System	Original											-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	0		
Misc. / Site	Refrigerator and Freezer	Freezer Condenser: 2008 Fridge Condenser: 2019			2008/2019								-	1	1	1	1	-	-	-	1	1	1	-	1	-	-	-	-	-	-	8		
Misc. / Site	Water Fountains												-	-	6	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-			
Misc. / Site	Cement Repairs	Ongoing											-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-			

OBSERVATIONS OF CURRENT FACILITY UTILIZATION

This campus has a Multi-Purpose Room and a dedicated Gymnasium with attached locker and restrooms. The gymnasium building is undersized for the current and future needs of the school and community. There are dedicated music and choir rooms within the Multi-Purpose Room with attached storage spaces. Currently, programs, such as math and social studies, are interspersed throughout different buildings. Campus leadership has expressed the need for a dedicated digital media space and a dedicated art room.

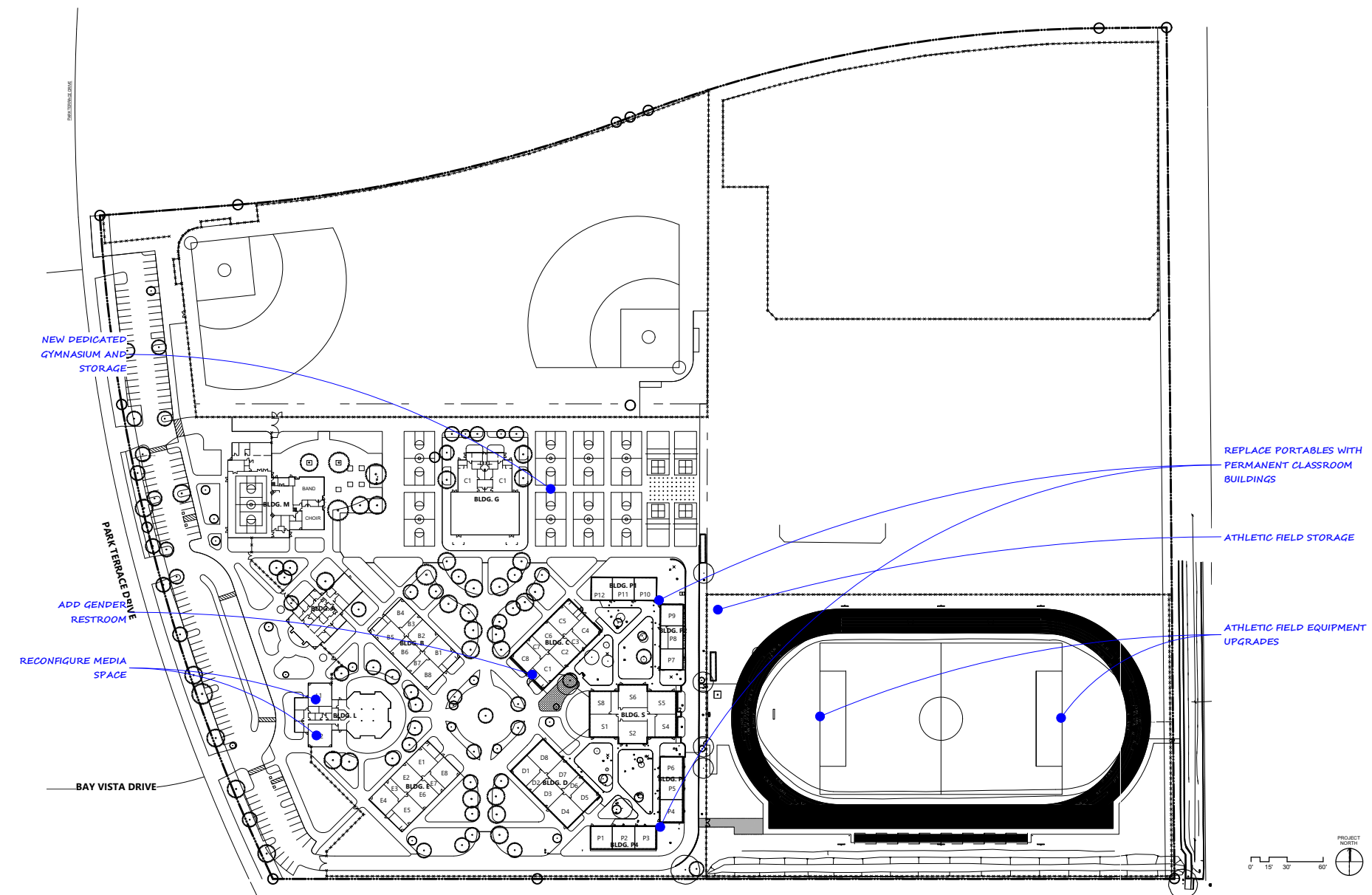


EXISTING UTILIZATION SITE PLAN





STAKEHOLDER INPUT



MAINTENANCE PROJECTS

BUILDING B

- HVAC replacement within 1 year
- Upgrades/Repairs of all room signage within 3-5 years
- Preventative maintenance of plumbings and lighting fixtures within 1-5 years
- Cosmetic repair of casework within 3-5 years, full replacement within 5-10 years
- Repair/Replace flooring within 5-10 years, Immediate flooring repair at select rooms
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed

BUILDING C

- HVAC replacement within 1 year
- Repair/Replace flooring within 10-15 years
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed
- Repair/Replace act ceiling within 5-10 years
- Repair/Replace building signage within 3-5 years
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Cosmetic repair of casework within 3-5 years, full replacement within 5-10 years
- Repair/Replace act ceiling within 5-10 years

BUILDING D

- HVAC replacement within 1 year
- Upgrades/Repair of all room signage within 5-10 years
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Repair/Replace flooring within 5-10 years
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed

BUILDING E

- HVAC replacement within 1 year
- Upgrades/repair of all room signage within 3-5 years
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Minor repair to act ceiling at select rooms
- Wall surface repair in 10-15 years
- Recommend paint doors and patch where needed as general maintenance

BUILDING P1-P9

- HVAC replacement within 1 year
- Immediate fixture repair at select rooms
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 3-5 years
- Wall surface repair in 3-5 years
- Recommend paint doors and patch where needed
- Hvac replacement within 1 year
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 5-10 years
- Wall surface repair in 5-10 years
- Recommend paint doors and patch where needed
- Hvac replacement within 1 year
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 3-5 years, immediate repair at select rooms
- Wall surface repair in 3-5 years
- Recommend paint doors and patch where needed
- Hvac replacement within 1 year
- Cosmetic repairs at casework within 3-5 years
- Flooring replacement within 5-10 years
- Wall surface repair in 5-10 years
- Recommend paint doors and patch where needed

MAINTENANCE PROJECTS

BUILDING S

- HVAC replacement within 1 year
- Minor repair to ceiling at select rooms
- Flooring replacement within 5-10 years
- Minor cosmetic repairs at doors where needed

BUILDING A

- HVAC replacement within 1 year
- Building signage repair at select rooms
- Minor ceiling repair at select rooms
- Wall surface repair in 5-10 years
- Flooring repair at select rooms within 3-5 years

BUILDING L

- HVAC replacement within 1 year
- Building signage repair at select rooms
- Minor ceiling repair at select rooms
- Wall surface repair in 5-10 years
- Flooring repair at select rooms within 3-5 years, immediate repair at select rooms

BUILDING M

- HVAC replacement within 1 year
- Building signage repair at select rooms
- Minor ceiling repair at select rooms
- Wall surface repair in 5-10 years, immediate repair at select rooms
- Window repair/preventative maintenance at select rooms
- Recommend paint doors and patch where needed

BUILDING G

- HVAC replacement within 1 year
- Preventative maintenance of plumbing and lighting fixtures within 1-5 years
- Wall surface repair in 5-10 years



ONE WAY TO ADDRESS THE NEEDS

Some of the most prominent feedback from numerous members of the steering committee was a desire to build a new gymnasium at Robert L. McCaffrey Middle School. This conceptual plan includes the construction of a dedicated gymnasium sized to fit a regulation basketball court to serve the campus basketball team and support external community programs. This proposed gymnasium would be roughly 11,000 square feet and include telescoping bleachers to seat 400 occupants. Contingent upon the construction of a new gymnasium, the existing play areas would be in need of expansion and upgrade. This report suggests the resurfacing of the existing asphalt play areas and application of colored coating to sports courts and play lines. Other upgrades to the school's athletic facilities would include the installation of permanent goal posts to the football field and the addition of dedicated storage equipment for sports and recreational programs.

Campus leadership expressed a goal to replace the school's portable classroom buildings with permanent construction. In doing so, developing dedicated spaces for Art and Ceramics programs. Another program of need is the existing media space in Building L. This master plan recommends the reconfiguration and modernization of these spaces to adapt to modern digital media space needs.

PROPOSED PROJECT LIST

Estimates of probable cost reflect total project costs, including design fees, materials, labor, mark-ups, and agency review when required. Numbers reflect the market rate in 2024. Escalation should be accounted for projects deferred beyond a 12-month period. These proposed projects are preliminary, based on high-level site observations and are to be refined during the design and planning process with the selected project teams.

NEW GYMNASIUM

- New construction of a dedicated gymnasium for school and community program use. +/- 11,000 sf gymnasium to accommodate a regulation basketball court with storage/utility space, including telescoping bleacher to seat 400 occupants.

OPINION OF PROBABLE COST: \$14,020,100

CLASSROOM UPGRADES

- Addition of new classroom buildings of permanent construction to be located at the eastern corner of campus. Two (2) new permanent buildings would house twelve (12) total individual classrooms to replace the existing relocatable classrooms: P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11 & P12. Project scope would include associated sitework and landscaping.

OPINION OF PROBABLE COST: \$25,636,700

PLAY AREA UPGRADES

- Expansion of asphalt play area to accommodate sports courts, contingent upon construction of new gymnasium. Project would include the resurfacing of existing hardscape and application of colored asphalt coating to sport courts.

OPINION OF PROBABLE COST: \$2,823,100

MEDIA ROOM UPGRADES

- Reconfiguration and modernization of existing media rooms within the administration building, (Building L) to provide layout, infrastructure, and equipment for operation of a modern media/production space.

OPINION OF PROBABLE COST: \$1,852,800

ATHLETIC FIELD UPGRADES

- Provide and install new athletic field equipment, such as permanent football goal posts and storage containers to support the campus's athletic and recreational programs.

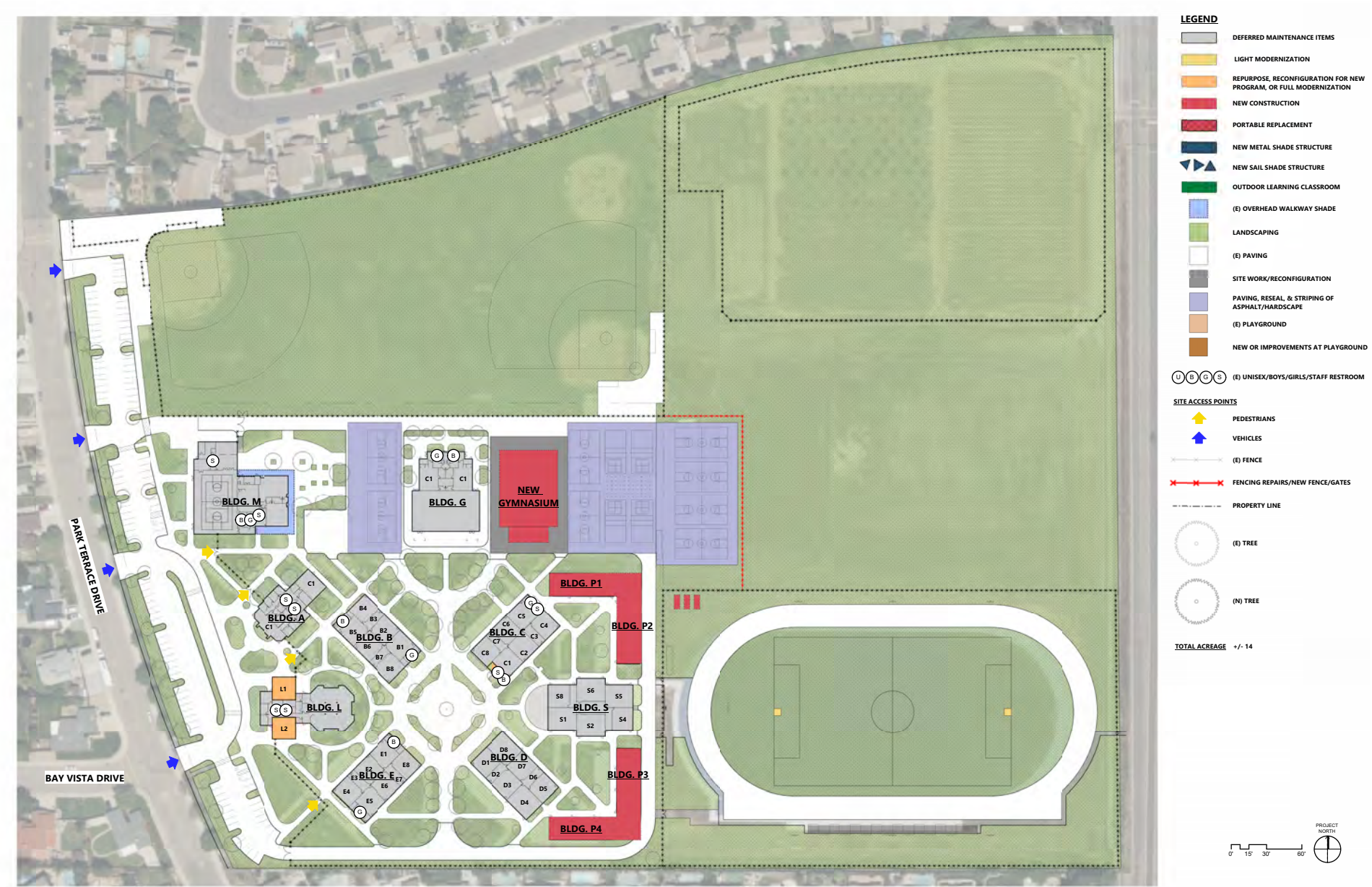
OPINION OF PROBABLE COST: \$58,500

GENDER-NEUTRAL RESTROOM

- Provide a single-user gender-neutral restroom at the Multi-Purpose Room (Building M).

OPINION OF PROBABLE COST: \$85,900

PROPOSED MASTER PLAN





CONCLUSION

In conclusion, the proposed conceptual plan for Robert L. McCaffrey Middle School addresses several key needs voiced by the steering committee and campus leadership. Foremost among these is the construction of a dedicated gymnasium, to fulfill the long-standing need for a regulation-sized basketball court to support not only the school's athletic teams, but additionally, programs supporting the expanded community of Galt. In doing so, this would open up the existing gymnasium space for adaptive re-use in service of other campus programs yet to be determined.

Furthermore, plans to replace portable classrooms with permanent buildings and add dedicated arts and ceramics spaces reflect a commitment to enhancing academic programs and providing students with modern spaces for learning and curiosity. Upgrades to play areas and athletic facilities aim to improve the overall quality and functionality of recreational spaces campus wide.

Lastly, the reconfiguration and modernization of the existing media space further contributes to supporting the diverse learning environments provided at McCaffrey. By addressing these various aspects, the proposed plan aims to elevate Robert L. McCaffrey Middle School's facilities to better support student learning, athletics, and community engagement.





GALT JOINT UNION ELEMENTARY SCHOOL DISTRICT

05 | COST
ANALYSIS

COST ANALYSIS - GREER OPTION 1

VERNON E. GREER ES - OPTION 1

VERNON E. GREER ES - OPTION 1					per Sierra West	
Projects		bldgs applicable	SF/LF/Unit	\$ per SF/LF/unit	Project Cost	
Parking Lot Reconfiguration						
1	Site work	New asphalt parking lot	16,000	\$	67	\$ 1,068,192
2	Site work	Resurfacing/restriping of existing asphalt parking lot	26,000	\$	19	\$ 495,946
					\$	1,564,139
Play Area Upgrades						
1	Site work	Regrading/resurfacing	9,400	\$	48	\$ 448,259
2	Site work	Landscaping/bioswale	10,000	\$	38	\$ 381,497
3	Site work	Playground & equipment	9,200	\$	105	\$ 966,000
					\$	1,795,756
Campus Shade Structures						
1	Furnishings	New lunch shelters at outdoor stage	1,600	\$	238	\$ 381,497
2	Furnishings	New outdoor furniture at lunch shelters	1,600	\$	67	\$ 106,819
3	Furnishings	New shade structures at pick-up/drop-off	1,600	\$	238	\$ 381,497
					\$	869,814
Outdoor Learning Spaces						
1	Site work / furnishings	Outdoor learning space (furniture allowance and ground re-surfacing)	3,300	\$	67	\$ 220,315
2	Furnishings	New fabric shade structures	1,200	\$	238	\$ 286,123
			\$ 506,438	2	\$	1,012,875
Classroom Upgrades						
1	Demolition	Demolish existing portable classrooms	Room 12 - 16	4,000	\$	23 \$ 91,559
2	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 12 - 16	4,000	\$	858 \$ 3,433,475
3	Demolition	Demolish existing portable classrooms	Room 17 - 18	2,000	\$	23 \$ 45,780
4	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 17 - 18	2,000	\$	858 \$ 1,716,737

COST ANALYSIS - GREER OPTION 1

5	Demolition	Demolish existing portable classrooms	Room 19 - 20	2,000	\$	23	\$	45,780
6	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 19 - 20	2,000	\$	858	\$	1,716,737
7	Demolition	Demolish existing portable classrooms	Room 21 - 26	6,000	\$	23	\$	137,339
8	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 21 - 26	6,000	\$	858	\$	5,150,212
9	Demolition	Demolish existing portable classrooms	Room 27 - 28	3,000	\$	23	\$	68,669
10	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 27 - 28	3,000	\$	858	\$	2,575,106
11	Demolition	Demolish existing portable classrooms	Room 29 - 32	4,000	\$	23	\$	91,559
12	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 29 - 32	4,000	\$	858	\$	3,433,475
13	Demolition	Demolish existing portable classrooms	Room 33 - 34	2,000	\$	23	\$	45,780
14	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 33 - 34	2,000	\$	858	\$	1,716,737
15	Demolition	Demolish existing portable classrooms	Room 35 - 38	4,000	\$	23	\$	91,559
16	New classroom building (relocatable bldg o/temp foundation)	Replace aging portable buildings in-place with new portable construction	Room 35 - 38	4,000	\$	858	\$	3,433,475

\$ 23,793,980

Gender Neutral Restroom

1	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building M	60	\$	1,431	\$	85,837
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\$ 85,837

IDENTIFIED PROJECT TOTAL \$ 29,122,401

COST ANALYSIS - GREER OPTION 2

VERNON E. GREER ES - OPTION 2					per Sierra West	
Projects		bldgs applicable	SF/LF/Unit	\$ per SF/LF/unit	Project Cost	
Parking Lot Reconfiguration						
1	Site work	New asphalt parking lot	16,000	\$	67	\$ 1,068,192
2	Site work	Resurfacing/restriping of existing asphalt parking lot	26,000	\$	19	\$ 495,946
						\$ 1,564,139
Play Area Upgrades						
1	Site work	Regrading/resurfacing	9,400	\$	48	\$ 448,259
2	Site work	Landscaping/bioswale	south campus	10,000	\$	38 \$ 381,497
3	Site work	Landscaping/bioswale	central campus	13,400	\$	38 \$ 511,206
4	Site work	Playground & equipment	south campus	9,200	\$	105 \$ 966,000
5	Site work	Playground & equipment	central campus	14,700	\$	105 \$ 1,543,500
						\$ 3,850,463
Campus Shade Structures						
1	Furnishings	New lunch shelters at outdoor stage	1,600	\$	238	\$ 381,497
2	Furnishings	New outdoor furniture at lunch shelters	1,600	\$	67	\$ 106,819
3	Furnishings	New shade structures at pick-up/drop-off	1,600	\$	238	\$ 381,497
						\$ 869,814
Outdoor Learning Spaces						
1	Site work / furnishings	Outdoor learning space (furniture allowance and ground re-surfacing)	3,300	\$	67	\$ 220,315
2	Furnishings	New shade structures	1,200	\$	238	\$ 286,123
			\$ 506,438	3		\$ 1,519,313
Classroom Upgrades						
1	Demolition	Demolition of existing portables	Room 12 - 16	4,000	\$	23 \$ 91,559
2	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 12 - 16	4,000	\$	858 \$ 3,433,475
3	Demolition	Demolition of existing portables	Room 17 - 18	2,000	\$	23 \$ 45,780
4	New classroom building (relocatable bldg	Replace portable buildings with new at new	Room 17 - 18	2,000	\$	858 \$ 1,716,737

COST ANALYSIS - GREER OPTION 2

5	Demolition	Demolition of existing portables	Room 19 - 20	2,000	\$	23	\$	45,780
6	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 19 - 20	2,000	\$	858	\$	1,716,737
7	Demolition	Demolition of existing portables	Room 21 - 26	6,000	\$	23	\$	137,339
8	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 21 - 26	6,000	\$	858	\$	5,150,212
9	Demolition	Demolition of existing portables	Room 27 - 28	3,000	\$	23	\$	68,669
10	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 27 - 28	3,000	\$	858	\$	2,575,106
11	Site work	Associated site work	Room 12 - 28	22,000	\$	95	\$	2,098,235
							\$	17,079,630
12	Demolition	Demolition of existing portables	Room 29 - 32	4,000	\$	23	\$	91,559
13	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new at new location	Room 29 - 32	4,000	\$	858	\$	3,433,475
14	Demolition	Demolition of existing portables	Room 33 - 34	2,000	\$	23	\$	45,780
15	New classroom building (relocatable bldg o/temp foundation)	"	Room 33 - 34	2,000	\$	858	\$	1,716,737
16	Demolition	Demolition of existing portables	Room 35 - 38	4,000	\$	23	\$	91,559
17	New classroom building (relocatable bldg o/temp foundation)	"	Room 35 - 38	4,000	\$	858	\$	3,433,475
18	Site work	Associated site work	Room 29 - 38	35,400	\$	95	\$	3,376,250
19	Demolition	Demolition of existing portables toilet rooms		520	\$	23	\$	11,903
20	New modular restroom building (relocatable bldg o/temp foundation)			520	\$	858	\$	446,352
							\$	12,647,090



COST ANALYSIS - GREER OPTION 2

Gender Neutral Restroom						
1	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building M	60	\$	1,431 \$ 85,837
					\$	85,837
IDENTIFIED PROJECT TOTAL					\$	37,616,284

COST ANALYSIS - LAKE CANYON

LAKE CANYON ELEMENTARY SCHOOL				per Sierra West		
Projects		bldgs applicable	SF/LF	\$ per SF/LF		Project Cost
New Restrooms						
1	Existing bldg reconfiguration	New staff restroom in kitchen	Building M	60	\$	1,431 \$ 85,837
2	Existing bldg reconfiguration	New gender neutral student restroom	Building M	60	\$	1,431 \$ 85,837
						\$ 171,674
Outdoor Stage Upgrades						
1	Site work	New fabric sail shade structures		1,600	\$	238 \$ 381,497
2	Furnishings	Seating at outdoor stage		1,600	\$	238 \$ 381,497
						\$ 762,994
Outdoor Learning Space						
1	Site work	New shade structures		1,200	\$	238 \$ 286,123
2	Site work	Outdoor learning space (furniture allowance and ground re-surfacing)		1,500	\$	67 \$ 100,143
						\$ 386,266
Campus Shade Structures						
1	Site work	New shade structures at upper grade play structure		800	\$	238 \$ 190,749
						\$ 190,749
Campus-Wide HVAC Replacement - Deferred Maintenance						
1	HVAC Replacement	Replace existing HVAC equipment in-kind;	Building M, Building A, Building K, Building T1, Building T2, Building C1, C2, C3 & C4, Existing Portables (2)	51,000.00	\$	162 \$ 8,262,000
		NOTE: Described HVAC Replacement cost includes updates to heating and cooling systems with power and structural considerations, requiring this project to be approved by the Division of the State Architect. If it is determined that structural changes aren't required, the estimated project cost will differ.				
IDENTIFIED PROJECT TOTAL					\$	9,773,683

COST ANALYSIS - MCCAFFREY

ROBERT L. MCCAFFREY MIDDLE SCHOOL				per Sierra West		
	Projects	bldgs applicable	SF/LF/Unit	\$ per SF/LF		Project Cost
Play Area Upgrades						
1	Site work	Asphalt play area expansion	26,000	\$ 48	\$	1,239,866
2	Site work	Resurface asphalt concrete at play area	38,000	\$ 19	\$	724,845
3	Site work	Repaint play and sport court lines with colored asphalt cooling coating	30,000	\$ 29	\$	858,369
						\$ 2,823,079
Classroom Upgrades						
1	New classroom building (permanent)	Replace portable buildings new permanent construction	Building P1 (P10-P12) & Building P2 (P7-P9)	9,600	\$ 1,335	\$ 12,818,306
2	New classroom building (permanent)	Replace portable buildings new permanent construction	Building P3 (P4-P6) & Building P4 (P1-P3)	9,600	\$ 1,335	\$ 12,818,306
						\$ 25,636,612
New Gymnasium						
1	New construction	New dedicated gymnasium with telescopic bleachers - seating 400 & storage building	10,500	\$ 1,335	\$	14,020,022
2	Site work	New concrete paving as needed	20,000	\$ 48	\$	953,743
						\$ 14,020,022
Gender Neutral Restroom						
1	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building M	60	\$ 1,431	\$ 85,837
						\$ 85,837
Media Room Upgrades						
1	Existing building reconfiguration	Reconfigure / Upgrade media space in Building L	Building L	2,200	\$ 842	\$ 1,852,741
						\$ 1,852,741
Athletic Field Upgrades						
1	Site work / furnishings	Installation of permanent goal posts	2	\$ 21,750	\$	43,500
2	Furnishings	Storage containers	3	\$ 5,000	\$	15,000
						\$ 58,500
IDENTIFIED PROJECT TOTAL						\$ 42,624,050

COST ANALYSIS - MARENGO RANCH

MARENGO RANCH ELEMENTARY SCHOOL					per Sierra West	
	Projects	bldgs applicable	SF/LF		\$ per SF/LF	Project Cost
Classroom Upgrades						
1	Demolition	Demolition existing portable classrooms	Building D (D1-D6)	6,700	\$ 23	\$ 153,362
1	New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in-place with new modular construction	Building D (D1-D6)	6,700	\$ 858	\$ 5,751,070
2	Demolition	Demolition existing portable classrooms	Building D (Detached meeting	520	\$ 23	\$ 11,903
2	New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in-place with new modular construction	Building D (Detached meeting rooms)	520	\$ 858	\$ 446,352
3	Demolition	Demolition existing portable classrooms	Building F(F1 - F6)	6,700	\$ 23	\$ 153,362
3	New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in-place with new modular construction	Building F(F1 - F6)	6,700	\$ 858	\$ 5,751,070
4	Demolition	Demolition existing portable classrooms	Building I(I1-I3)	3,300	\$ 23	\$ 75,536
4	New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in-place with new modular construction	Building I(I1-I3)	3,300	\$ 858	\$ 2,832,617
5	Demolition	Demolition existing portable classrooms	Building I2(I4-I8)	5,200	\$ 23	\$ 119,027
5	New classroom building (relocatable bldg o/temp foundation)	Replace 20+ year-old portable buildings in-place with new modular construction	Building I2(I4-I8)	5,200	\$ 858	\$ 4,463,517
						\$ 19,757,816
Play Area Upgrades						
1	Site work	Resurface asphalt concrete at play area		48,000	\$ 19	\$ 915,593
2	Site work	Repaint play and sport court lines with colored asphalt cooling coating		20,000	\$ 29	\$ 572,246
						\$ 1,487,839
Outdoor stage						
3	Site work / Existing bldg reconfiguration	Outdoor stage and necessary egress reconfiguration of MPR backstage area	Building B (MPR)	2,000	\$ 360	\$ 720,000
						\$ 720,000

COST ANALYSIS - MARENGO RANCH

Campus Shade Structures

1	Site work	Metal shade structure at existing play areas	1,100	\$	238	\$	262,279
						\$	262,279

Parking Lot Reconfiguration

1	Site work	New asphalt parking lot	19,000	\$	67	\$	1,268,478
						\$	1,268,478

IDENTIFIED PROJECT TOTAL						\$	23,496,413
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COST ANALYSIS - RIVER OAKS

RIVER OAKS ES				per Sierra West		
	Projects	bldgs applicable	SF/LF/Unit	\$ per SF/LF/unit	Project Cost	
Parking Lot Reconfiguration						
1	Site work	New asphalt parking lot	24,000	\$	67	\$ 1,602,288
2	Site work	Landscaping/bioswales	16,000	\$	38	\$ 610,396
4	Site work	Resurfacing/restriping of existing asphalt parking lot - site east	32,000	\$	19	\$ 610,396
					\$	2,823,079
Campus Shade Structures						
1	Furnishings	New metal shade structures at playgrounds	1,400	\$	238	\$ 333,810
2	Furnishings	New metal shade structures at drop off	2,300	\$	238	\$ 548,402
3	Furnishings	New metal lunch shelter	850	\$	238	\$ 202,670
					\$	1,084,883
Admin Building Reconfiguration						
1	Existing building reconfiguration	Add additional conference room to existing administration building	500	\$	842	\$ 421,078
					\$	421,078
Classroom Upgrades						
1	Modernization	Mid-level modernization of existing permanent classroom buildings: (Finishes, plumbing, HVAC, lighting, P/D/A/V upgrades etc.)	Building D	6,300	\$	546 \$ 3,442,917
					\$	3,442,917
2	Demolition	Demolition of existing portables	Room 14 - 27	8,000	\$	23 \$ 183,119
3	Site work	Site work associated with construction of new permanent classroom buildings		10,000	\$	95 \$ 953,743
4	New construction	Construction of new permanent classroom buildings	Room 14 - 27	6,800	\$	1,431 \$ 9,728,179
				\$	9,728,179	\$ 2 \$ 19,456,357

COST ANALYSIS - RIVER OAKS

6	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings in place with new	Room 38 - 39	2,000	\$	1,335	\$	2,670,480
7	Demolition	Demolish existing portable classrooms	Room 38 - 39	2,000	\$	23	\$	45,780
8	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings in place with new	Room 34 - 35	2,000	\$	1,335	\$	2,670,480
9	Demolition	Demolish existing portable classrooms	Room 34 - 35	2,000	\$	23	\$	45,780
10	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings in place with new	Room 12 - 13	2,000	\$	1,335	\$	2,670,480
11	Demolition	Demolish existing portable classrooms	Room 12 - 13	2,000	\$	23	\$	45,780
							\$	8,148,780

Gender Neutral Restroom

1	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building F	60	\$	1,430.61	\$	85,837
							\$	85,837

IDENTIFIED PROJECT TOTAL **\$ 35,462,931**

COST ANALYSIS - VALLEY OAKS

VALLEY OAKS ES					per Sierra West	
Projects		bldgs applicable	SF/LF/Unit	\$ per SF/LF/unit	Project Cost	
Parking Lot Reconfiguration						
1	Site work	New asphalt parking lot - site west	5,000	\$	67	\$ 333,810
2	Site work	Resurfacing/restriping of existing asphalt parking lot - site west	9,000	\$	19	\$ 171,674
3	Site work	New asphalt parking lot - site east	2,000	\$	67	\$ 133,524
4	Site work	Resurfacing/restriping of existing asphalt parking lot - site east	23,000	\$	19	\$ 438,722
					\$	1,077,730
Play Area Upgrades						
1	Site work	Resurface asphalt concrete at play area	90,000	\$	20	\$ 1,800,000
2	Site work	Repaint play and sport court lineswith colored asphalt cooling coating	16,000	\$	20	\$ 320,000
3	Site work	Upgrade upper grade play area	3,200	\$	105	\$ 336,000
4	Furnishings	New metal shade structures	1,600	\$	168	\$ 268,800
					\$	2,724,800
Outdoor Learning Spaces						
1	Site work / furnishings	Outdoor learning space (furniture allowance and ground re-surfacing)	3,500	\$	237	\$ 829,500
2	Furnishings	New fabric shade structures	1,200	\$	215	\$ 258,000
					\$	1,087,500
Administration Building Expansion						
1	New construction / addition	Expansion of existing administration building to include staff breakroom, staff workroom & gender neutral restroom	Building B	1,000	\$	1,284 \$ 1,284,000
2	Modernization / reconfiguration	Reconfiguration of existing administration building as appropriate to acoommodate for current programmatic needs	Building B	2,800	\$	860 \$ 2,408,000

COST ANALYSIS - VALLEY OAKS

3	Site work	New concrete paving/regrading as necessary	Building B	2,000	\$	50	\$	100,000
							\$	3,692,000

Classroom Upgrades

1	Modernization	Mid-level modernization of existing permanent classroom buildings: (Finishes, plumbing, HVAC, lighting, P/D/A/V upgrades etc.)	Building A	10,000	\$	554	\$	5,540,000
2	Modernization	Mid-level modernization	Building C	10,000	\$	554	\$	5,540,000
3	Modernization	Mid-level modernization	Building E	8,800	\$	554	\$	4,875,200
4	Demolition	Demolition of existing portables	Room 7 - 10	5,600	\$	20	\$	112,000
5	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 7 - 10	5,600	\$	858	\$	4,804,800
6	Demolition	Demolition of existing portables	Room 12 - 13	2,800	\$	20	\$	56,000
7	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 12 - 13	2,800	\$	858	\$	2,402,400
8	Demolition	Demolition of existing portables	Room 19 - 21	3,200	\$	20	\$	64,000
9	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 19 - 21	3,200	\$	858	\$	2,745,600
10	Demolition	Demolition of existing portables	Room 22 - 25	5,700	\$	20	\$	114,000
11	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 22 - 25	5,700	\$	858	\$	4,890,600
12	Demolition	Demolition of existing portables	Room 26 - 27	3,000	\$	20	\$	60,000
13	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 26 - 27	3,000	\$	858	\$	2,574,000
14	Demolition	Demolition of existing portables	Room 28 - 30	2,800	\$	20	\$	56,000
15	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 28 - 30	2,800	\$	858	\$	2,402,400
16	Demolition	Demolition of existing portables	Room 42 - 43	2,900	\$	20	\$	58,000



COST ANALYSIS - VALLEY OAKS

17	New classroom building (relocatable bldg o/temp foundation)	Replace portable buildings with new in place	Room 42 - 43	2,900	\$	858	\$	2,488,200
							\$	38,783,200
Gender Neutral Restroom								
1	Existing building reconfiguration	Convert/add gender neutral restroom at existing MPR	Building F	60	\$	1,431	\$	85,837
							\$	85,837
IDENTIFIED PROJECT TOTAL							\$	63,406,266

COST ANALYSIS - FAIRSITE

FAIRSITE LEARNING CENTER					per Sierra West	
Projects		bldgs applicable	SF/LF/Unit	\$ per SF/LF/unit	Project Cost	
Parking Lot Reconfiguration						
1	Site work	New asphalt parking lot along east property line	7,400	\$	67	\$ 494,039
2	Site work	Resurfacing/restriping of existing asphalt parking lot - site east	24,300	\$	19	\$ 463,519
3	Demolition	Demolition of existing portable	Room 22	1,000	\$	23 \$ 22,890
					\$	980,448
Outdoor Learning Spaces						
1	Site work	Outdoor learning space (outdoor furniture allowance and ground re-surfacing)	3,400	\$	67	\$ 226,991
2	Furnishings	New fabric shade structures	1,200	\$	238	\$ 286,123
3	Site work	Regrading / resurfacing asphalt concrete as needed	6,300	\$	48	\$ 300,429
					\$	813,543
New Admin Building						
1	Demolition	Remove existing Admin portable	Office	500	\$	23 \$ 11,445
2	Demolition	Remove existing classroom portables (requires interim replacement on site)	Room 15 - 18	4,000	\$	23 \$ 91,559
3	Site work	New/regrade concrete paving		14,000	\$	48 \$ 667,620
4	New construction	Construction of new Administration building at south-east campus		4,000	\$	1,240 \$ 4,959,464
5	Site work	New fencing as needed (per concept plan, site-wide)		300	\$	525 \$ 157,368
6	Site work	New pedestrian gate		1	\$	12,589 \$ 12,589
					\$	5,900,045
Classroom Upgrades						

COST ANALYSIS - FAIRSITE

1	Modernization	Mid-level modernization of existing permanent preschool classroom buildings: (Finishes, plumbing, HVAC, lighting, P/D/A/V upgrades etc.)	Preschool	2,000	\$	546	\$	1,092,989
2	Modernization	Mid-level modernization	Building A	3,500	\$	546	\$	1,912,732
3	Modernization	Mid-level modernization	Building A.2	6,800	\$	546	\$	3,716,164
4	Modernization	Mid-level modernization	Building B	4,500	\$	546	\$	2,459,226
5	Modernization	Mid-level modernization	Building C	2,800	\$	546	\$	1,530,185
New Classroom Buildings								
7	Demolition	Demolition of existing portables	Rooms 25, 26, 27, 28, 29, 30, 32, 34, & 36	9,000	\$	23	\$	206,008
8	Site work	Estimated site work associated with construction of new permanent classroom buildings		25,000	\$	95	\$	2,384,358
9	New construction	Construction of new permanent classroom buildings		12,000	\$	1,240	\$	14,878,391
							\$	17,468,757
IDENTIFIED PROJECT TOTAL							\$	35,874,089



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